

दिनांक 13.07.2022

सेवा मे,  
प्रभारी प्रवर्तन (जोन-5)  
गाजियाबाद विकास प्राधिकरण  
गाजियाबाद।

सन्दर्भ: पत्रांक 583/प्रवर्तन जोन-5/2022 दिनांक 28.06.2022

विषय: मा0 उच्च न्यायालय में आप द्वारा दायर रिट याचिका संख्या-12511/2022 में निर्गत आदेश दिनांक 05.05.2022 का अनुपालन सुनिश्चित कराये जाने के सम्बन्ध मे

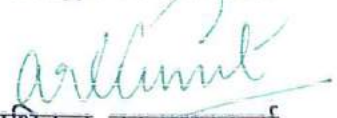
महोदय,

कृपया उक्त विषय से सम्बन्धित अपने उपरोक्त सन्दर्भित पत्र का सन्दर्भ ग्रहण करने का कष्ट करें जिसके माध्यम से आपने रिट याचिका संख्या-12511/2022 में निर्गत आदेश दिनांक 05.05.2022 का अनुपालन करने सम्बन्धी निर्देश दिये गये हैं जिसके क्रम में विकासकर्ता कम्पनी को भूखण्ड संख्या सी-2, आर्बिट प्लाजा, क्रॉसिंग्स रिपब्लिक की डीड ऑफ डिक्लेरेशन प्राधिकरण के समक्ष जमा करने एवं सम्पूर्ति प्रमाण पत्र लेने हेतु अनुरोध किया गया है।

उक्त के क्रम में आपको अवगत कराना है कि विकासकर्ता कम्पनी द्वारा मा0 उच्च न्यायालय में दायर रिट याचिका संख्या-12511/2022 में निर्गत आदेश के अनुपालन मे आर्बिट प्लाजा स्थित भूखण्ड संख्या सी-2 के विकसित भाग की डीड ऑफ डिक्लेरेशन इस पत्र के साथ संलग्न कर आपको प्रेषित की जा रही है। कृपया अवगत हों।

धन्यवाद

वास्ते: क्रॉसिंग्स इन्फ्रास्ट्रक्चर प्रा0 लि0

  
अधिकृत हस्ताक्षरकर्ता

संलग्नक: उपरोक्तानुसार

10806/PRO  
14/07/2022

AB/गए/परशुराम

**CROSSINGS INFRASTRUCTURE PVT. LTD.**

(CIN No.: U45203DL2005PT0134505)

Crossings Republik Township, (Glass Gate), Near ABES Engg  
College NH 24, Dundaheera, Ghaziabad - 201016, U.P. (India),

Ph. No. : 0120-6134121, 0120-6134170

Email : [crossingsinfra06@gmail.com](mailto:crossingsinfra06@gmail.com), [info@crossings.in](mailto:info@crossings.in) • [www.crossings.in](http://www.crossings.in)

**FORM A**  
**(See Rule 3)**  
**FORM OF DECLARATION**

Date:

Place:

Promoter Details:

1. Name:

**Crossings Infrastructure Pvt. Ltd.** (who is the Lead Party of consortium) as well as registered Private Developer and having License from the Ghaziabad Development Authority and its constituent under consortium for developing the township known as Crossings Republik in Village Dundahera, Ghaziabad

2. Developers:

**Pav Reality Ltd.**

3. Registered Address:

**Crossings Infrastructure Pvt. Ltd.**  
Unit no. 102, 1st floor, Plot no. 14,  
Community Centre, Karkarduma, Delhi-52

4. Local/ Postal Address:

**Crossings Infrastructure Pvt. Ltd.**  
Crossings Republik Township (Glass gate), Near ABES  
Engg. College, NH-24, Dundahera, Ghaziabad-201016

5. Date of Incorporation  
(if applicable)

**Crossings Infrastructure Pvt. Ltd.**  
30/03/2005

6. Name/ designation of  
Authorized Signatory:

Mr **ANIL KUMAR SRIVASTAVA**  
**Director:- Pav Reality Ltd.**

The Declarant hereby solemnly states the following:

**FIRST:** The above promoters owns / holds the freehold land which is fully described and detailed in Annexure 'A' to this declaration.

**SECOND:** The Promoter have constructed on the parcel of land, described in Annexure 'A' to this declaration, an Apartment Building/ Group Housing scheme, detailed below:

For Pav Reality Limited

Authorized Signatory


S.No.	Description	Particulars
(1)	(2)	(3)
1.	Name of the building/ Group Housing Scheme	Commercial scheme on Plot No. C-2 in Crossings Republik Township, Dundahera, Ghaziabad
2.	Sanctioning Authority of the plan	G.D.A
3.	Date of sanction	03-02-2010, 29-02-2012, 30-04-2015
4.	Municipal No. of the property	-
5.	Municipal Ward of the property	-
6.	Postal address of the property	C-2 Crossings Republik Township, near ABES Engg. College, NH-24, Dundahera, Ghaziabad-201016
7.	Name of Architect/ Structural Engineer	Gyan P Mathur & GPMA
8.	Height of the building	25.40 Mtr
9.	Scheme whether residential or commercial (other than multiplex or mall)	Commercial
10.	No. of Floors	LGF+G+5

**Annexure 'A'**

**Details of the land of the building to which the present declaration relates**

Sl. No.	Items		
1.	Location of the land of the building	C-2, Crossings Republik Township Revenue village Dundahera.	Dundahera
		Tehsil	Ghaziabad
		District	Ghaziabad
2.	Survey No. with area	C-2 in Crossings Republik Township Dundahera Ghaziabad total plot of land measuring 8299.155 sq.mt which is earmarked in sanctioned DPR layout of the township	C-2 in Crossings Republik Township Dundahera Ghaziabad Total area 8299.155 Sq.mt ( Land measuring.

For Pav Realty Limited


  
 Authorised Signatory

3.	Date of last document of title under which the promoter claims the land	Under housing policy of the State of U.P, an integrated township known as Crossings Republik Township is being developed by Crossings Infrastructure Pvt. Ltd. under consortium.	C-2 title and land ownership documents have duly been verified by GDA.
4.	Details of Registration of the above title document	Book No.	Crossings Republik Township' s land including the land falling in c-2 had been purchased & exchanged under various title document i.e. Sale Deeds & Exchange which have duly been verified by GDA.
		Vol. No.	
		Page Nos.	
		Sl. No.	
		Date of Regn.	
5.	Boundaries of the land	North	GH-03
		South	Round About/ Road
		East	GH-04
		West	30 mtr wide road
6.	Land whether freehold or leasehold		Freehold
7.	If land is leasehold, the unexpired period of the lease		NA

Place: Ghaziabad

Date \_\_\_ 2022

For Pav Realty Limited

  
Authorised Signatory  
Signature of declarant

With designation and seal

**Annexure 'C'**

**Details of covered area of apartments and total covered area of common areas and facilities/ limited common areas and facilities**

Sl. No.	Particulars	(3)	(4)	(5)	(6)
(1)	(2)				
(a)	Total covered area of Units at various floors	10039.93Sq.mtr	X	X	X
(b-1)	Total covered area of common areas & facilities (as defined in S.3 (i) of the Act)	X	5021.84 Sq.mtr	X	X
(b-2)	Total covered area of limited common areas & facilities (as defined in S.3 (s) of the Act)	X	X	109.06 Sq.mtr	X
(c)	Total covered area of the building [Total of (a), (b-1) & (b-2)]	X	X	X	15170.83 Sq.mtr
	Sum up	i.e. (a)	i.e. (b-1)	i.e. (b-2)	i.e. (c)

For Pav Realty Limited

*[Handwritten Signature]*

Signature of declarant  
With designation and seal

Place:

Date:

**Annexure 'D'**

Details of the common area and facilities of the building to which the present declaration relates

Sl. No.	Name of the common areas & facilities	Its description/ area
(a)	The parcel of land described in paragraph First of this Deed.	8299.155 sq mtr
(b)	Basement (if any) (as shown in Exhibit 'A' attached hereto)	Enclosed dwg for reference double basement area, total area 4641.657 Sq. mtr. 2 <sup>nd</sup> basement area= 3643.797 sqmtr 1 <sup>st</sup> basement Floor area 997.86 sq mtr
©	Facilities in the basement	Parking/Store/Pump Room.
(d)	Parking facilities (as shown in Exhibit 'A' attached hereto)	Enclosed dwg. For reference
(e)	Facilities on the ground floor (as shown in Exhibit 'A' attached hereto)	
	(i) Garden lawns including	} NA
	(ii) Children playing area	
	(iii)Swimming Pool	NA
	(iv)Tennis Court	NA
	(v) Badminton Court	NA
	(vi)Commercial areas & facilities	NA
	(vii) Lobby & facilities	
	(viii) Any other facility	NA
(f)	Common areas & facilities located throughout the building (as shown in Exhibit 'A')	
	(i) Elevator	5 lifts
	(ii) Area of shaft(s)	479.55 sq.mtr
	(iii)Elevator shaft extends from	Basement up to 5th <sup>th</sup> floor
	(iv)No. of stairway 'A', which lead from the ground floor to the roof of the building	3 staircase
	(v) No. of stairway 'B' (if any), which lead from the open court to the upper floor	Nil
	(vi)A flue (if applicable), extending from the incinerator in the basement to the roof of the building, which has a hopper door in each one	Nil

For Pav Realty Limited

  
 Authorised Signatory

	of the ..... Upper floors for the disposal of garbage and rubbish, and will be fed from the janitor's room of each of the ... upper floors.	
(vii)	No. of water tank(s)	2 overhead tank, 5 underground
(viii)	Elevator pent-house with corresponding elevator equipment located on the roof of the building.	Dwg. attached
(ix)	Plumbing network throughout the building	Dwg. attached
(x)	Electric wiring net-work throughout the building	Dwg. attached
(xi)	Necessary light(s)	Dwg. attached
(xii)	Telephone(s)	-
(xiii)	Public water connection(s)	-
(xiv)	Foundations and main walls, columns, girders, beams and roofs of the building	Dwg. attached
(xv)	Tank(s)	OH 2 @35000 KL, underground 5 @ 37500 LTR.
(xvi)	Pump(s)	As per annexure-1
(xvii)	Motor(s)	As per annexure-1
(xviii)	Fans	As per annexure-1
(xix)	Firefighting equipment(s)	As per annexure-1
(xx)	Compressor(s)	Dwg. attached
(xxi)	Duct(s)	Dwg. attached
(xxii)	Central Air Conditioning Equipment(s)	Dwg. attached
(xxiii)	Heating Equipment	Dwg. attached
(xxiv)	General all apparatus & installation existing for common use	

For Pav Realty Limited

Place:

Signature of declarant  
Authorised Signatory  
With designation and seal

Date:

**Note:-** Section 3(i) of the Act has defined the term "common areas and facilities" and the above common areas and facilities are illustrative and not exhaustive.

**Annexure 'E'**

**Details of the limited common area and facilities of the building to which the present declaration relates**

"Limited Common areas & Facilities" (as defined in S.3(c) of the Act and shown in Exhibit 'A')		
(i)	Parking	109.06 Sq.mtr
(ii)	Lobby, giving access to the elevator(s) to specified dwelling unit	N/A
(iii)	Corridor extending from the lobby to the stairway	N/A

For Pav Realty Limited

Signature of declarant

Place:

With designation and seal

Date:

**Note:-** Section 3(s) of the Act has defined the "limited common areas and facilities" means "those common areas and facilities which are designated in writing by the promoter before the allotment, sale or transfer of any apartment as reserved for the use of certain apartment or apartments to the exclusion of the other apartments."



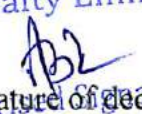
**Annexure 'F'**

**Details of the "independent areas" of the building to which the present declaration relates**

"independent areas" (as defined in S. 3(P) of the Act)		
(i)	Parking (unallotted area)	3914.21 sq.mtr
(ii)	Servant Quarter\Maintenance Room	113.15 sq.mtr
(iii)	Club with independent access	N/A
(iv)	Convenient shops	N/A
(v)	Storage	727.44 sq.mtr
(vi)	Terrace attached to an apartment. (if applicable)	N/A

**Note:-** Section 3(p) of the Act has defined the term "independent area" which means the areas which have been declared but not included as common areas for joint use of apartments and may be sold by the promoter without the interference of other apartment owners.

Place:

  
Signature of declarant  
With designation and seal

Date:

**Declaration made by M/s Crossings Infrastructure Pvt. Ltd.**

In connection with aforesaid Commercial Plot No.C-2 total land area admeasuring 8299.155 Sq.Mtr.we want to declare that we have constructed only undivided & impartible land area admeasuring 5299.155 Sq.Mtr. out of total land and we are submitting herewith deed of declaration thereof only. Now we have balance 3000 Sq.Mtr. land with additional FAR thereofin Commercial Plot No. C-2. We will construct and develop the same in future after getting map sanctioned with the Authority. We want to make clear that no one Allottee/Owner of constructed & sold area have any right in thebalance 3000 Sq.Mtr. land with FAR thereofin Commercial Plot No. C-2.

Annexure 'B' (Details of Apartments) Name of condominium: Value of condominium:										
Sl. No.	Floor	Identifiable No. of the Units	TYPE	No. of Units	Covered/ Carpet area (in sq. mtrs.)	Percentage of undivided share in land on the basis of covered area of the Unit	Proportionate representation for voting purpose in the meeting of the association of Shops owners	Approved use Residential / Commercial	Value of the Apartment	
1	2	3	4	5	6	7	8	9	10	
1										
2										
3										
4										
5										
6										
7	1									
8	1	Lower Ground Floor	LG 1	NA	1	25.97	0.26	2.94	Commercial	As Per Price List/Mutually Agreed Upon
9	2	Lower Ground Floor	LG 2	NA	1	25.32	0.25	2.86	Commercial	As Per Price List/Mutually Agreed Upon
10	3	Lower Ground Floor	LG 3	NA	1	25.09	0.25	2.84	Commercial	As Per Price List/Mutually Agreed Upon
11	4	Lower Ground Floor	LG 4	NA	1	11.86	0.12	1.34	Commercial	As Per Price List/Mutually Agreed Upon
12	5	Lower Ground Floor	LG 5	NA	1	13.61	0.14	1.54	Commercial	As Per Price List/Mutually Agreed Upon
13	6	Lower Ground Floor	LG 6	NA	1	14.97	0.15	1.69	Commercial	As Per Price List/Mutually Agreed Upon
14	7	Lower Ground Floor	LG 7	NA	1	18.19	0.18	2.06	Commercial	As Per Price List/Mutually Agreed Upon
15	8	Lower Ground Floor	LG 8	NA	1	18.04	0.18	2.04	Commercial	As Per Price List/Mutually Agreed Upon
16	9	Lower Ground Floor	LG 9	NA	1	11.96	0.12	1.35	Commercial	As Per Price List/Mutually Agreed Upon
17	10	Lower Ground Floor	LG 10	NA	1	31.10	0.31	3.52	Commercial	As Per Price List/Mutually Agreed Upon
18	11	Lower Ground Floor	LG 11	NA	1	30.90	0.31	3.50	Commercial	As Per Price List/Mutually Agreed Upon
19	12	Lower Ground Floor	LG 12	NA	1	30.83	0.31	3.49	Commercial	As Per Price List/Mutually Agreed Upon
20	13	Lower Ground Floor	LG 13	NA	1	30.65	0.31	3.47	Commercial	As Per Price List/Mutually Agreed Upon
21	14	Lower Ground Floor	LG 14	NA	1	43.28	0.43	4.90	Commercial	As Per Price List/Mutually Agreed Upon
22	15	Lower Ground Floor	LG 15	NA	1	42.96	0.43	4.86	Commercial	As Per Price List/Mutually Agreed Upon
23	16	Lower Ground Floor	LG 16	NA	1	44.50	0.44	5.03	Commercial	As Per Price List/Mutually Agreed Upon
24	17	Lower Ground Floor	LG 17	NA	1	43.78	0.44	4.95	Commercial	As Per Price List/Mutually Agreed Upon
25	18	Lower Ground Floor	LG 18	NA	1	20.18	0.20	2.28	Commercial	As Per Price List/Mutually Agreed Upon
26	19	Lower Ground Floor	LG 18A	NA	1	23.90	0.24	2.70	Commercial	As Per Price List/Mutually Agreed Upon
27	20	Lower Ground Floor	LG 19	NA	1	29.60	0.29	3.35	Commercial	As Per Price List/Mutually Agreed Upon
28	21	Lower Ground Floor	LG 19A	NA	1	29.97	0.30	3.39	Commercial	As Per Price List/Mutually Agreed Upon
29	22	Lower Ground Floor	LG 20	NA	1	24.26	0.24	2.74	Commercial	As Per Price List/Mutually Agreed Upon
30	23	Lower Ground Floor	LG 21	NA	1	24.10	0.24	2.73	Commercial	As Per Price List/Mutually Agreed Upon
31	24	Lower Ground Floor	LG 22	NA	1	23.77	0.24	2.69	Commercial	As Per Price List/Mutually Agreed Upon
32	25	Lower Ground Floor	LG 23	NA	1	18.60	0.19	2.10	Commercial	As Per Price List/Mutually Agreed Upon
33	26	Lower Ground Floor	LG 24	NA	1	18.27	0.18	2.07	Commercial	As Per Price List/Mutually Agreed Upon
34	27	Lower Ground Floor	LG 25	NA	1	25.92	0.26	2.93	Commercial	As Per Price List/Mutually Agreed Upon
35	28	Lower Ground Floor	LG 26	NA	1	24.25	0.24	2.74	Commercial	As Per Price List/Mutually Agreed Upon
36	29	Lower Ground Floor	LG 27	NA	1	21.88	0.22	2.48	Commercial	As Per Price List/Mutually Agreed Upon
37	30	Lower Ground Floor	LG 28	NA	1	27.00	0.27	3.05	Commercial	As Per Price List/Mutually Agreed Upon
38	31	Lower Ground Floor	LG 29	NA	1	28.88	0.29	3.27	Commercial	As Per Price List/Mutually Agreed Upon
39	32	Lower Ground Floor	LG 30	NA	1	27.82	0.28	3.15	Commercial	As Per Price List/Mutually Agreed Upon
40	33	Lower Ground Floor	LG 31	NA	1	36.47	0.36	4.13	Commercial	As Per Price List/Mutually Agreed Upon
41	34	Lower Ground Floor	LG 32	NA	1	27.46	0.27	3.11	Commercial	As Per Price List/Mutually Agreed Upon

For Bay Realty Limited

Authorised Signatory

	A	B	C	D	E	F	H	I	J	K
42	35	Lower Ground Floor	LG 34	NA	1	26.36	0.26	2.98	Commercial	As Per Price List/Mutually Agreed Upon
43	36	Lower Ground Floor	LG 35	NA	1	32.50	0.32	3.68	Commercial	As Per Price List/Mutually Agreed Upon
44	37	Lower Ground Floor	LG 36	NA	1	26.20	0.26	2.96	Commercial	As Per Price List/Mutually Agreed Upon
45	38	Lower Ground Floor	LG 37	NA	1	24.90	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
46	39	Lower Ground Floor	LG 38	NA	1	26.07	0.26	2.95	Commercial	As Per Price List/Mutually Agreed Upon
47	40	Lower Ground Floor	LG 39	NA	1	27.56	0.27	3.12	Commercial	As Per Price List/Mutually Agreed Upon
48	41	Lower Ground Floor	LG 40	NA	1	24.94	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
49	42	Lower Ground Floor	LG 41	NA	1	24.91	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
50	43	Lower Ground Floor	LG 42	NA	1	23.00	0.23	2.60	Commercial	As Per Price List/Mutually Agreed Upon
51	44	Lower Ground Floor	LG 43	NA	1	16.70	0.17	1.89	Commercial	As Per Price List/Mutually Agreed Upon
52	45	Lower Ground Floor	LG 44	NA	1	24.15	0.24	2.73	Commercial	As Per Price List/Mutually Agreed Upon
53	46	Lower Ground Floor	LG 45	NA	1	18.77	0.19	2.12	Commercial	As Per Price List/Mutually Agreed Upon
54	47	Lower Ground Floor	LG 46	NA	1	18.63	0.19	2.11	Commercial	As Per Price List/Mutually Agreed Upon
55	48	Lower Ground Floor	LG 47	NA	1	18.76	0.19	2.12	Commercial	As Per Price List/Mutually Agreed Upon
56	49	Lower Ground Floor	LG 48	NA	1	18.63	0.19	2.11	Commercial	As Per Price List/Mutually Agreed Upon
57	50	Lower Ground Floor	LG 49	NA	1	20.54	0.20	2.32	Commercial	As Per Price List/Mutually Agreed Upon
58	51	Lower Ground Floor	LG 50	NA	1	19.88	0.20	2.25	Commercial	As Per Price List/Mutually Agreed Upon
59	52	Upper Ground Floor	UG 1	NA	1	25.97	0.26	2.94	Commercial	As Per Price List/Mutually Agreed Upon
60	53	Upper Ground Floor	UG 2	NA	1	25.32	0.25	2.86	Commercial	As Per Price List/Mutually Agreed Upon
61	54	Upper Ground Floor	UG 3	NA	1	25.09	0.25	2.84	Commercial	As Per Price List/Mutually Agreed Upon
62	55	Upper Ground Floor	UG 4	NA	1	25.32	0.25	2.86	Commercial	As Per Price List/Mutually Agreed Upon
63	56	Upper Ground Floor	UG 5	NA	1	32.36	0.32	3.66	Commercial	As Per Price List/Mutually Agreed Upon
64	57	Upper Ground Floor	UG 6	NA	1	14.15	0.14	1.60	Commercial	As Per Price List/Mutually Agreed Upon
65	58	Upper Ground Floor	UG 7	NA	1	18.19	0.18	2.06	Commercial	As Per Price List/Mutually Agreed Upon
66	59	Upper Ground Floor	UG 8	NA	1	22.30	0.22	2.52	Commercial	As Per Price List/Mutually Agreed Upon
67	60	Upper Ground Floor	UG 9	NA	1	22.00	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
68	61	Upper Ground Floor	UG 10	NA	1	21.58	0.21	2.44	Commercial	As Per Price List/Mutually Agreed Upon
69	62	Upper Ground Floor	UG 11	NA	1	22.00	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
70	63	Upper Ground Floor	UG 12	NA	1	28.06	0.28	3.17	Commercial	As Per Price List/Mutually Agreed Upon
71	64	Upper Ground Floor	UG 13	NA	1	22.31	0.22	2.52	Commercial	As Per Price List/Mutually Agreed Upon
72	65	Upper Ground Floor	UG 14	NA	1	21.99	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
73	66	Upper Ground Floor	UG 15	NA	1	21.55	0.21	2.44	Commercial	As Per Price List/Mutually Agreed Upon
74	67	Upper Ground Floor	UG 16	NA	1	21.99	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
75	68	Upper Ground Floor	UG 17	NA	1	28.06	0.28	3.17	Commercial	As Per Price List/Mutually Agreed Upon
76	69	Upper Ground Floor	UG 18	NA	1	24.26	0.24	2.74	Commercial	As Per Price List/Mutually Agreed Upon
77	70	Upper Ground Floor	UG 19	NA	1	24.10	0.24	2.73	Commercial	As Per Price List/Mutually Agreed Upon
78	71	Upper Ground Floor	UG 20	NA	1	18.60	0.19	2.10	Commercial	As Per Price List/Mutually Agreed Upon
79	72	Upper Ground Floor	UG 21	NA	1	25.92	0.26	2.93	Commercial	As Per Price List/Mutually Agreed Upon
80	73	Upper Ground Floor	UG 22	NA	1	24.31	0.24	2.75	Commercial	As Per Price List/Mutually Agreed Upon
81	74	Upper Ground Floor	UG 23	NA	1	21.88	0.22	2.48	Commercial	As Per Price List/Mutually Agreed Upon
82	75	Upper Ground Floor	UG 24	NA	1	27.00	0.27	3.05	Commercial	As Per Price List/Mutually Agreed Upon
83	76	Upper Ground Floor	UG 25	NA	1	28.88	0.29	3.27	Commercial	As Per Price List/Mutually Agreed Upon
84	77	Upper Ground Floor	UG 26	NA	1	27.82	0.28	3.15	Commercial	As Per Price List/Mutually Agreed Upon
85	78	Upper Ground Floor	UG 27	NA	1	36.47	0.36	4.13	Commercial	As Per Price List/Mutually Agreed Upon
86	79	Upper Ground Floor	UG 28	NA	1	27.46	0.27	3.11	Commercial	As Per Price List/Mutually Agreed Upon


For Pay Realty Limited

Authorised Signatory

	A	B	C	D	E	F	H	I	J	K
87	80	Upper Ground Floor	UG 31	NA	1	32.50	0.32	3.68	Commercial	As Per Price List/Mutually Agreed Upon
88	81	Upper Ground Floor	UG 32	NA	1	26.20	0.26	2.96	Commercial	As Per Price List/Mutually Agreed Upon
89	82	Upper Ground Floor	UG 33	NA	1	24.94	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
90	83	Upper Ground Floor	UG 34	NA	1	26.07	0.26	2.95	Commercial	As Per Price List/Mutually Agreed Upon
91	84	Upper Ground Floor	UG 35	NA	1	27.56	0.27	3.12	Commercial	As Per Price List/Mutually Agreed Upon
92	85	Upper Ground Floor	UG 36	NA	1	24.90	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
93	86	Upper Ground Floor	UG 37	NA	1	24.90	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
94	87	Upper Ground Floor	UG 38	NA	1	23.00	0.23	2.60	Commercial	As Per Price List/Mutually Agreed Upon
95	88	Upper Ground Floor	UG 39B	NA	1	16.70	0.17	1.89	Commercial	As Per Price List/Mutually Agreed Upon
96	89	Upper Ground Floor	UG 40	NA	1	24.15	0.24	2.73	Commercial	As Per Price List/Mutually Agreed Upon
97	90	Upper Ground Floor	UG 41	NA	1	23.77	0.24	2.69	Commercial	As Per Price List/Mutually Agreed Upon
98	91	Upper Ground Floor	UG 42	NA	1	18.27	0.18	2.07	Commercial	As Per Price List/Mutually Agreed Upon
99	92	Upper Ground Floor	UG 43	NA	1	18.76	0.19	2.12	Commercial	As Per Price List/Mutually Agreed Upon
100	93	Upper Ground Floor	UG 44	NA	1	18.70	0.19	2.12	Commercial	As Per Price List/Mutually Agreed Upon
101	94	Upper Ground Floor	UG 45	NA	1	18.76	0.19	2.12	Commercial	As Per Price List/Mutually Agreed Upon
102	95	Upper Ground Floor	UG 46	NA	1	18.76	0.19	2.12	Commercial	As Per Price List/Mutually Agreed Upon
103	96	Upper Ground Floor	UG 47	NA	1	20.54	0.20	2.32	Commercial	As Per Price List/Mutually Agreed Upon
104	97	Upper Ground Floor	UG 48	NA	1	18.04	0.18	2.04	Commercial	As Per Price List/Mutually Agreed Upon
105	98	Upper Ground Floor	UG 49	NA	1	11.96	0.12	1.35	Commercial	As Per Price List/Mutually Agreed Upon
106	99	First Floor	FF 1	NA	1	38.35	0.38	4.34	Commercial	As Per Price List/Mutually Agreed Upon
107	100	First Floor	FF 2	NA	1	25.31	0.25	2.86	Commercial	As Per Price List/Mutually Agreed Upon
108	101	First Floor	FF 3	NA	1	25.08	0.25	2.84	Commercial	As Per Price List/Mutually Agreed Upon
109	102	First Floor	FF 4	NA	1	25.31	0.25	2.86	Commercial	As Per Price List/Mutually Agreed Upon
110	103	First Floor	FF 5	NA	1	32.36	0.32	3.66	Commercial	As Per Price List/Mutually Agreed Upon
111	104	First Floor	FF 6	NA	1	18.19	0.18	2.06	Commercial	As Per Price List/Mutually Agreed Upon
112	105	First Floor	FF 7	NA	1	18.04	0.18	2.04	Commercial	As Per Price List/Mutually Agreed Upon
113	106	First Floor	FF 8	NA	1	32.59	0.32	3.69	Commercial	As Per Price List/Mutually Agreed Upon
114	107	First Floor	FF 9	NA	1	22.03	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
115	108	First Floor	FF 10	NA	1	21.62	0.22	2.45	Commercial	As Per Price List/Mutually Agreed Upon
116	109	First Floor	FF 11	NA	1	22.03	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
117	110	First Floor	FF 12	NA	1	28.17	0.28	3.19	Commercial	As Per Price List/Mutually Agreed Upon
118	111	First Floor	FF 13	NA	1	32.59	0.32	3.69	Commercial	As Per Price List/Mutually Agreed Upon
119	112	First Floor	FF 14	NA	1	22.02	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
120	113	First Floor	FF 15	NA	1	21.61	0.22	2.44	Commercial	As Per Price List/Mutually Agreed Upon
121	114	First Floor	FF 16	NA	1	22.02	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
122	115	First Floor	FF 17	NA	1	27.81	0.28	3.15	Commercial	As Per Price List/Mutually Agreed Upon
123	116	First Floor	FF 18	NA	1	24.21	0.24	2.74	Commercial	As Per Price List/Mutually Agreed Upon
124	117	First Floor	FF 19	NA	1	24.10	0.24	2.73	Commercial	As Per Price List/Mutually Agreed Upon
125	118	First Floor	FF 20	NA	1	18.59	0.19	2.10	Commercial	As Per Price List/Mutually Agreed Upon
126	119	First Floor	FF 21	NA	1	25.92	0.26	2.93	Commercial	As Per Price List/Mutually Agreed Upon
127	120	First Floor	FF 22	NA	1	24.30	0.24	2.75	Commercial	As Per Price List/Mutually Agreed Upon
128	121	First Floor	FF 23	NA	1	34.71	0.35	3.93	Commercial	As Per Price List/Mutually Agreed Upon
129	122	First Floor	FF 24	NA	1	27.00	0.27	3.05	Commercial	As Per Price List/Mutually Agreed Upon
130	123	First Floor	FF 25	NA	1	28.88	0.29	3.27	Commercial	As Per Price List/Mutually Agreed Upon
131	124	First Floor	FF 26	NA	1	27.82	0.28	3.15	Commercial	As Per Price List/Mutually Agreed Upon
132	125	First Floor	FF 27	NA	1	36.37	0.36	4.11	Commercial	As Per Price List/Mutually Agreed Upon
133	126	First Floor	FF 28	NA	1	27.47	0.27	3.11	Commercial	As Per Price List/Mutually Agreed Upon

  
 Authorised Signatory

	A	B	C	D	E	F	H	I	J	K
134	127	First Floor	FF 31	NA	1	44.93	0.45	5.08	Commercial	As Per Price List/Mutually Agreed Upon
135	128	First Floor	FF 32	NA	1	26.16	0.26	2.96	Commercial	As Per Price List/Mutually Agreed Upon
136	129	First Floor	FF 33	NA	1	24.94	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
137	130	First Floor	FF 34	NA	1	26.08	0.26	2.95	Commercial	As Per Price List/Mutually Agreed Upon
138	131	First Floor	FF 35	NA	1	27.56	0.27	3.12	Commercial	As Per Price List/Mutually Agreed Upon
139	132	First Floor	FF 36	NA	1	24.91	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
140	133	First Floor	FF 37	NA	1	24.90	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
141	134	First Floor	FF 38	NA	1	23.00	0.23	2.60	Commercial	As Per Price List/Mutually Agreed Upon
142	135	First Floor	FF 39	NA	1	16.70	0.17	1.89	Commercial	As Per Price List/Mutually Agreed Upon
143	136	First Floor	FF 40	NA	1	23.78	0.24	2.69	Commercial	As Per Price List/Mutually Agreed Upon
144	137	First Floor	FF 41	NA	1	18.25	0.18	2.06	Commercial	As Per Price List/Mutually Agreed Upon
145	138	First Floor	FF 42	NA	1	24.14	0.24	2.73	Commercial	As Per Price List/Mutually Agreed Upon
146	139	First Floor	FF 43	NA	1	18.76	0.19	2.12	Commercial	As Per Price List/Mutually Agreed Upon
147	140	First Floor	FF 44	NA	1	18.63	0.19	2.11	Commercial	As Per Price List/Mutually Agreed Upon
148	141	First Floor	FF 45	NA	1	18.53	0.18	2.10	Commercial	As Per Price List/Mutually Agreed Upon
149	142	First Floor	FF 46	NA	1	18.21	0.18	2.06	Commercial	As Per Price List/Mutually Agreed Upon
150	143	First Floor	FF 47	NA	1	20.53	0.20	2.32	Commercial	As Per Price List/Mutually Agreed Upon
151	144	First Floor	FF 48	NA	1	11.95	0.12	1.35	Commercial	As Per Price List/Mutually Agreed Upon
152	145	First Floor	FF 49	NA	1	31.82	0.32	3.60	Commercial	As Per Price List/Mutually Agreed Upon
153	146	First Floor	FF 50	NA	1	25.24	0.25	2.86	Commercial	As Per Price List/Mutually Agreed Upon
154	147	First Floor	FF 51	NA	1	25.08	0.25	2.84	Commercial	As Per Price List/Mutually Agreed Upon
155	148	First Floor	FF 52	NA	1	25.31	0.25	2.86	Commercial	As Per Price List/Mutually Agreed Upon
156	149	First Floor	FF 53	NA	1	38.35	0.38	4.34	Commercial	As Per Price List/Mutually Agreed Upon
157	150	First Floor	FF 54	NA	1	34.95	0.35	3.95	Commercial	As Per Price List/Mutually Agreed Upon
158	151	First Floor	FF 55	NA	1	23.09	0.23	2.61	Commercial	As Per Price List/Mutually Agreed Upon
159	152	First Floor	FF 56	NA	1	22.56	0.22	2.55	Commercial	As Per Price List/Mutually Agreed Upon
160	153	First Floor	FF 57	NA	1	23.09	0.23	2.61	Commercial	As Per Price List/Mutually Agreed Upon
161	154	First Floor	FF 58	NA	1	28.92	0.29	3.27	Commercial	As Per Price List/Mutually Agreed Upon
162	155	First Floor	FF 59	NA	1	22.03	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
163	156	First Floor	FF 60	NA	1	41.22	0.41	4.66	Commercial	As Per Price List/Mutually Agreed Upon
164	157	First Floor	FF 61	NA	1	28.40	0.28	3.21	Commercial	As Per Price List/Mutually Agreed Upon
165	158	First Floor	FF 62	NA	1	9.73	0.10	1.10	Commercial	As Per Price List/Mutually Agreed Upon
166	159	First Floor	FF 63	NA	1	22.30	0.22	2.52	Commercial	As Per Price List/Mutually Agreed Upon
167	160	First Floor	FF 64	NA	1	20.80	0.21	2.35	Commercial	As Per Price List/Mutually Agreed Upon
168	161	Second Floor	OFF 1	NA	1	35.46	0.35	4.01	Commercial	As Per Price List/Mutually Agreed Upon
169	162	Second Floor	OFF 2	NA	1	47.12	0.47	5.33	Commercial	As Per Price List/Mutually Agreed Upon
170	163	Second Floor	OFF 3a	NA	1	25.82	0.26	2.92	Commercial	As Per Price List/Mutually Agreed Upon
171	164	Second Floor	OFF 3b	NA	1	26.21	0.26	2.96	Commercial	As Per Price List/Mutually Agreed Upon
172	165	Second Floor	OFF 4	NA	1	34.47	0.34	3.90	Commercial	As Per Price List/Mutually Agreed Upon
173	166	Second Floor	OFF 5	NA	1	57.48	0.57	6.50	Commercial	As Per Price List/Mutually Agreed Upon
174	167	Second Floor	OFF 6	NA	1	38.35	0.38	4.34	Commercial	As Per Price List/Mutually Agreed Upon
175	168	Second Floor	OFF 7	NA	1	51.76	0.52	5.86	Commercial	As Per Price List/Mutually Agreed Upon
176	169	Second Floor	OFF 8	NA	1	58.00	0.58	6.56	Commercial	As Per Price List/Mutually Agreed Upon
177	170	Second Floor	OFF 9	NA	1	48.83	0.49	5.52	Commercial	As Per Price List/Mutually Agreed Upon
178	171	Second Floor	OFF 10	NA	1	66.19	0.66	7.49	Commercial	As Per Price List/Mutually Agreed Upon
179	172	Second Floor	OFF 11	NA	1	75.32	0.75	8.52	Commercial	As Per Price List/Mutually Agreed Upon
180	173	Second Floor	OFF 12	NA	1	44.56	0.44	5.04	Commercial	As Per Price List/Mutually Agreed Upon

  
 Authorised Signatory  
 EBI Real Estate Limited

	A	B	C	D	E	F	H	I	J	K
									Commercial	As Per Price List/Mutually Agreed Upon
181	174	Second Floor	OFF 12a	NA	1	60.01	0.60	6.79	Commercial	As Per Price List/Mutually Agreed Upon
182	175	Second Floor	OFF 14	NA	1	68.30	0.68	7.73	Commercial	As Per Price List/Mutually Agreed Upon
183	176	Second Floor	OFF 15	NA	1	32.61	0.32	3.69	Commercial	As Per Price List/Mutually Agreed Upon
184	177	Second Floor	OFF 16	NA	1	44.13	0.44	4.99	Commercial	As Per Price List/Mutually Agreed Upon
185	178	Second Floor	OFF 17	NA	1	50.95	0.51	5.76	Commercial	As Per Price List/Mutually Agreed Upon
186	179	Second Floor	OFF 18	NA	1	46.93	0.47	5.31	Commercial	As Per Price List/Mutually Agreed Upon
187	180	Second Floor	OFF 19	NA	1	8.84	0.09	1.00	Commercial	As Per Price List/Mutually Agreed Upon
188	181	Second Floor	OFF 19A	NA	1	27.57	0.27	3.12	Commercial	As Per Price List/Mutually Agreed Upon
189	182	Second Floor	OFF 20	NA	1	36.71	0.37	4.15	Commercial	As Per Price List/Mutually Agreed Upon
190	183	Second Floor	OFF 21	NA	1	24.19	0.24	2.74	Commercial	As Per Price List/Mutually Agreed Upon
191	184	Second Floor	OFF 22	NA	1	43.49	0.43	4.92	Commercial	As Per Price List/Mutually Agreed Upon
192	185	Second Floor	OFF 23	NA	1	42.74	0.43	4.83	Commercial	As Per Price List/Mutually Agreed Upon
193	186	Second Floor	OFF 24	NA	1	38.14	0.38	4.31	Commercial	As Per Price List/Mutually Agreed Upon
194	187	Second Floor	OFF 25	NA	1	37.84	0.38	4.28	Commercial	As Per Price List/Mutually Agreed Upon
195	188	Second Floor	OFF 26	NA	1	30.05	0.30	3.40	Commercial	As Per Price List/Mutually Agreed Upon
196	189	Second Floor	OFF 27	NA	1	50.13	0.50	5.67	Commercial	As Per Price List/Mutually Agreed Upon
197	190	Second Floor	OFF 28	NA	1	28.93	0.29	3.27	Commercial	As Per Price List/Mutually Agreed Upon
198	191	Second Floor	OFF 29	NA	1	38.30	0.38	4.33	Commercial	As Per Price List/Mutually Agreed Upon
199	192	Second Floor	Combine Off 37	NA	1	407.64	4.06	46.11	Commercial	As Per Price List/Mutually Agreed Upon
200	193	Second Floor	OFF 38	NA	1	45.95	0.46	5.20	Commercial	As Per Price List/Mutually Agreed Upon
201	194	Second Floor	OFF 39	NA	1	45.55	0.45	5.15	Commercial	As Per Price List/Mutually Agreed Upon
202	195	Second Floor	OFF 40	NA	1	48.12	0.48	5.44	Commercial	As Per Price List/Mutually Agreed Upon
203	196	Third Floor	OFF 1	NA	1	37.80	0.38	4.28	Commercial	As Per Price List/Mutually Agreed Upon
204	197	Third Floor	OFF 2	NA	1	25.35	0.25	2.87	Commercial	As Per Price List/Mutually Agreed Upon
205	198	Third Floor	OFF 3	NA	1	25.12	0.25	2.84	Commercial	As Per Price List/Mutually Agreed Upon
206	199	Third Floor	OFF 4	NA	1	25.35	0.25	2.87	Commercial	As Per Price List/Mutually Agreed Upon
207	200	Third Floor	OFF 5	NA	1	31.98	0.32	3.62	Commercial	As Per Price List/Mutually Agreed Upon
208	201	Third Floor	OFF 6	NA	1	46.93	0.47	5.31	Commercial	As Per Price List/Mutually Agreed Upon
209	202	Third Floor	OFF 7	NA	1	32.59	0.32	3.69	Commercial	As Per Price List/Mutually Agreed Upon
210	203	Third Floor	OFF 8	NA	1	22.02	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
211	204	Third Floor	OFF 9	NA	1	21.62	0.22	2.45	Commercial	As Per Price List/Mutually Agreed Upon
212	205	Third Floor	OFF 10	NA	1	22.02	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
213	206	Third Floor	OFF 11	NA	1	28.17	0.28	3.19	Commercial	As Per Price List/Mutually Agreed Upon
214	207	Third Floor	OFF 12	NA	1	44.58	0.44	5.04	Commercial	As Per Price List/Mutually Agreed Upon
215	208	Third Floor	OFF 13	NA	1	29.48	0.29	3.33	Commercial	As Per Price List/Mutually Agreed Upon
216	209	Third Floor	OFF 14	NA	1	29.03	0.29	3.28	Commercial	As Per Price List/Mutually Agreed Upon
217	210	Third Floor	OFF 15	NA	1	29.48	0.29	3.33	Commercial	As Per Price List/Mutually Agreed Upon
218	211	Third Floor	OFF 16	NA	1	37.56	0.37	4.25	Commercial	As Per Price List/Mutually Agreed Upon
219	212	Third Floor	OFF 17	NA	1	22.36	0.22	2.53	Commercial	As Per Price List/Mutually Agreed Upon
220	213	Third Floor	OFF 17A	NA	1	20.39	0.20	2.31	Commercial	As Per Price List/Mutually Agreed Upon
221	214	Third Floor	OFF 18	NA	1	36.71	0.37	4.15	Commercial	As Per Price List/Mutually Agreed Upon
222	215	Third Floor	OFF 19	NA	1	28.82	0.29	3.26	Commercial	As Per Price List/Mutually Agreed Upon
223	216	Third Floor	OFF 20	NA	1	38.14	0.38	4.31	Commercial	As Per Price List/Mutually Agreed Upon
224	217	Third Floor	OFF 21	NA	1	37.84	0.38	4.28	Commercial	As Per Price List/Mutually Agreed Upon
225	218	Third Floor	OFF 22	NA	1	22.28	0.22	2.52	Commercial	As Per Price List/Mutually Agreed Upon
226	219	Third Floor	OFF 22A	NA	1	19.74	0.20	2.23	Commercial	As Per Price List/Mutually Agreed Upon
227	220	Third Floor	OFF 23	NA	1	24.18	0.24	2.74	Commercial	As Per Price List/Mutually Agreed Upon

For Pay Realty Limited  
 Authorised Signatory

	A	B	C	D	E	F	H	I	J	K
228	221	Third Floor	OFF 24	NA	1	30.05	0.30	3.40	Commercial	As Per Price List/Mutually Agreed Upon
229	222	Third Floor	OFF 25	NA	1	34.67	0.35	3.92	Commercial	As Per Price List/Mutually Agreed Upon
230	223	Third Floor	OFF 26	NA	1	29.11	0.29	3.29	Commercial	As Per Price List/Mutually Agreed Upon
231	224	Third Floor	OFF 27	NA	1	28.21	0.28	3.19	Commercial	As Per Price List/Mutually Agreed Upon
232	225	Third Floor	OFF 28	NA	1	40.54	0.40	4.59	Commercial	As Per Price List/Mutually Agreed Upon
233	226	Third Floor	OFF 29	NA	1	41.03	0.41	4.64	Commercial	As Per Price List/Mutually Agreed Upon
234	227	Third Floor	OFF 30	NA	1	49.05	0.49	5.55	Commercial	As Per Price List/Mutually Agreed Upon
235	228	Third Floor	OFF 31	NA	1	55.81	0.56	6.31	Commercial	As Per Price List/Mutually Agreed Upon
236	229	Third Floor	OFF 32	NA	1	38.02	0.38	4.30	Commercial	As Per Price List/Mutually Agreed Upon
237	230	Third Floor	OFF 33	NA	1	48.21	0.48	5.45	Commercial	As Per Price List/Mutually Agreed Upon
238	231	Third Floor	OFF 34	NA	1	47.74	0.48	5.40	Commercial	As Per Price List/Mutually Agreed Upon
239	232	Third Floor	OFF 35	NA	1	48.95	0.49	5.54	Commercial	As Per Price List/Mutually Agreed Upon
240	233	Third Floor	OFF 36	NA	1	28.26	0.28	3.20	Commercial	As Per Price List/Mutually Agreed Upon
241	234	Third Floor	OFF 37	NA	1	20.59	0.21	2.33	Commercial	As Per Price List/Mutually Agreed Upon
242	235	Third Floor	OFF 37A	NA	1	28.63	0.29	3.24	Commercial	As Per Price List/Mutually Agreed Upon
243	236	Third Floor	OFF 38	NA	1	28.72	0.29	3.25	Commercial	As Per Price List/Mutually Agreed Upon
244	237	Third Floor	OFF 38A	NA	1	28.40	0.28	3.21	Commercial	As Per Price List/Mutually Agreed Upon
245	238	Third Floor	OFF 39	NA	1	25.29	0.25	2.86	Commercial	As Per Price List/Mutually Agreed Upon
246	239	Third Floor	OFF 39A	NA	1	24.97	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
247	240	Third Floor	OFF 40	NA	1	38.37	0.38	4.34	Commercial	As Per Price List/Mutually Agreed Upon
248	241	Third Floor	OFF 41	NA	1	34.99	0.35	3.96	Commercial	As Per Price List/Mutually Agreed Upon
249	242	Third Floor	OFF 42	NA	1	23.14	0.23	2.62	Commercial	As Per Price List/Mutually Agreed Upon
250	243	Third Floor	OFF 42A	NA	1	22.60	0.23	2.56	Commercial	As Per Price List/Mutually Agreed Upon
251	244	Third Floor	OFF 43	NA	1	52.94	0.53	5.99	Commercial	As Per Price List/Mutually Agreed Upon
252	245	Third Floor	OFF 44	NA	1	32.90	0.33	3.72	Commercial	As Per Price List/Mutually Agreed Upon
253	246	Third Floor	OFF 45	NA	1	29.32	0.29	3.32	Commercial	As Per Price List/Mutually Agreed Upon
254	247	Third Floor	OFF 45A	NA	1	28.95	0.29	3.27	Commercial	As Per Price List/Mutually Agreed Upon
255	248	Third Floor	OFF 46	NA	1	12.15	0.12	1.37	Commercial	As Per Price List/Mutually Agreed Upon
256	249	Third Floor	OFF 47	NA	1	27.57	0.27	3.12	Commercial	As Per Price List/Mutually Agreed Upon
257	250	Fourth Floor	OFF 1	NA	1	35.77	0.36	4.05	Commercial	As Per Price List/Mutually Agreed Upon
258	251	Fourth Floor	OFF 2A	NA	1	22.60	0.23	2.56	Commercial	As Per Price List/Mutually Agreed Upon
259	252	Fourth Floor	OFF 3	NA	1	23.13	0.23	2.62	Commercial	As Per Price List/Mutually Agreed Upon
260	253	Fourth Floor	OFF 3A	NA	1	28.96	0.29	3.28	Commercial	As Per Price List/Mutually Agreed Upon
261	254	Fourth Floor	OFF 4	NA	1	32.90	0.33	3.72	Commercial	As Per Price List/Mutually Agreed Upon
262	255	Fourth Floor	OFF 5	NA	1	29.32	0.29	3.32	Commercial	As Per Price List/Mutually Agreed Upon
263	256	Fourth Floor	OFF 5A	NA	1	28.95	0.29	3.27	Commercial	As Per Price List/Mutually Agreed Upon
264	257	Fourth Floor	OFF 6	NA	1	38.37	0.38	4.34	Commercial	As Per Price List/Mutually Agreed Upon
265	258	Fourth Floor	OFF 7	NA	1	25.29	0.25	2.86	Commercial	As Per Price List/Mutually Agreed Upon
266	259	Fourth Floor	OFF 7A	NA	1	24.97	0.25	2.82	Commercial	As Per Price List/Mutually Agreed Upon
267	260	Fourth Floor	OFF 8	NA	1	58.02	0.58	6.56	Commercial	As Per Price List/Mutually Agreed Upon
268	261	Fourth Floor	OFF 9	NA	1	37.79	0.38	4.27	Commercial	As Per Price List/Mutually Agreed Upon
269	262	Fourth Floor	OFF 10	NA	1	51.29	0.51	5.80	Commercial	As Per Price List/Mutually Agreed Upon
270	263	Fourth Floor	OFF 11	NA	1	58.24	0.58	6.59	Commercial	As Per Price List/Mutually Agreed Upon
271	264	Fourth Floor	OFF 12	NA	1	32.91	0.33	3.72	Commercial	As Per Price List/Mutually Agreed Upon
272	265	Fourth Floor	OFF 13	NA	1	45.29	0.45	5.12	Commercial	As Per Price List/Mutually Agreed Upon
273	266	Fourth Floor	OFF 14	NA	1	50.64	0.50	5.73	Commercial	As Per Price List/Mutually Agreed Upon
274	267	Fourth Floor							Commercial	As Per Price List/Mutually Agreed Upon

	A	B	C	D	E	F	H	I	J	K
275	268	Fourth Floor	OFF 15	NA	1	32.91	0.33	3.72	Commercial	As Per Price List/Mutually Agreed Upon
276	269	Fourth Floor	OFF 16	NA	1	22.02	0.22	2.49	Commercial	As Per Price List/Mutually Agreed Upon
277	270	Fourth Floor	OFF 16A	NA	1	21.61	0.22	2.44	Commercial	As Per Price List/Mutually Agreed Upon
278	271	Fourth Floor	OFF 17	NA	1	50.45	0.50	5.71	Commercial	As Per Price List/Mutually Agreed Upon
279	272	Fourth Floor	OFF 18	NA	1	46.99	0.47	5.32	Commercial	As Per Price List/Mutually Agreed Upon
280	273	Fourth Floor	OFF 19	NA	1	36.71	0.37	4.15	Commercial	As Per Price List/Mutually Agreed Upon
281	274	Fourth Floor	OFF 20	NA	1	24.19	0.24	2.74	Commercial	As Per Price List/Mutually Agreed Upon
282	275	Fourth Floor	OFF 21	NA	1	22.36	0.22	2.53	Commercial	As Per Price List/Mutually Agreed Upon
283	276	Fourth Floor	OFF 21A	NA	1	20.39	0.20	2.31	Commercial	As Per Price List/Mutually Agreed Upon
284	277	Fourth Floor	OFF 22	NA	1	22.28	0.22	2.52	Commercial	As Per Price List/Mutually Agreed Upon
285	278	Fourth Floor	OFF 22A	NA	1	19.74	0.20	2.23	Commercial	As Per Price List/Mutually Agreed Upon
286	279	Fourth Floor	OFF 23	NA	1	38.14	0.38	4.31	Commercial	As Per Price List/Mutually Agreed Upon
287	280	Fourth Floor	OFF 24	NA	1	18.66	0.19	2.11	Commercial	As Per Price List/Mutually Agreed Upon
288	281	Fourth Floor	OFF 24A	NA	1	18.30	0.18	2.07	Commercial	As Per Price List/Mutually Agreed Upon
289	282	Fourth Floor	OFF 25	NA	1	30.05	0.30	3.40	Commercial	As Per Price List/Mutually Agreed Upon
290	283	Fourth Floor	OFF 26	NA	1	20.49	0.20	2.32	Commercial	As Per Price List/Mutually Agreed Upon
291	284	Fourth Floor	OFF 26A	NA	1	28.33	0.28	3.20	Commercial	As Per Price List/Mutually Agreed Upon
292	285	Fourth Floor	OFF 27	NA	1	35.30	0.35	3.99	Commercial	As Per Price List/Mutually Agreed Upon
293	286	Fourth Floor	OFF 27A	NA	1	27.82	0.28	3.15	Commercial	As Per Price List/Mutually Agreed Upon
294	287	Fourth Floor	OFF 28	NA	1	29.66	0.30	3.36	Commercial	As Per Price List/Mutually Agreed Upon
295	288	Fourth Floor	OFF 28A	NA	1	27.38	0.27	3.10	Commercial	As Per Price List/Mutually Agreed Upon
296	289	Fourth Floor	OFF 29	NA	1	40.17	0.40	4.54	Commercial	As Per Price List/Mutually Agreed Upon
297	290	Fourth Floor	OFF 30	NA	1	36.75	0.37	4.16	Commercial	As Per Price List/Mutually Agreed Upon
298	291	Fourth Floor	OFF 30A	NA	1	28.29	0.28	3.20	Commercial	As Per Price List/Mutually Agreed Upon
299	292	Fourth Floor	OFF 31	NA	1	41.03	0.41	4.64	Commercial	As Per Price List/Mutually Agreed Upon
300	293	Fourth Floor	OFF 32	NA	1	49.05	0.49	5.55	Commercial	As Per Price List/Mutually Agreed Upon
301	294	Fourth Floor	OFF 33	NA	1	55.81	0.56	6.31	Commercial	As Per Price List/Mutually Agreed Upon
302	295	Fourth Floor	OFF 34	NA	1	48.20	0.48	5.45	Commercial	As Per Price List/Mutually Agreed Upon
303	296	Fourth Floor	OFF 35	NA	1	24.10	0.24	2.73	Commercial	As Per Price List/Mutually Agreed Upon
304	297	Fourth Floor	OFF 35A	NA	1	22.08	0.22	2.50	Commercial	As Per Price List/Mutually Agreed Upon
305	298	Fourth Floor	OFF 36	NA	1	48.95	0.49	5.54	Commercial	As Per Price List/Mutually Agreed Upon
306	299	Fourth Floor	OFF 37	NA	1	8.84	0.09	1.00	Commercial	As Per Price List/Mutually Agreed Upon
307	300	Fourth Floor	OFF 38	NA	1	27.57	0.27	3.12	Commercial	As Per Price List/Mutually Agreed Upon
308	301	Fifth Floor	SHOP-01	NA	1	45.82	0.46	5.18	Commercial	As Per Price List/Mutually Agreed Upon
309	302	Fifth Floor	REST.-01	NA	1	97.08	0.97	10.98	Commercial	As Per Price List/Mutually Agreed Upon
310	303	Fifth Floor	REST.-02	NA	1	112.51	1.12	12.73	Commercial	As Per Price List/Mutually Agreed Upon
311	304	Fifth Floor	REST.-03	NA	1	158.44	1.58	17.92	Commercial	As Per Price List/Mutually Agreed Upon
312	305	Fifth Floor	REST.-04	NA	1	118.34	1.18	13.39	Commercial	As Per Price List/Mutually Agreed Upon
313	306	Fifth Floor	HALL	NA	1	289.52	2.88	32.75	Commercial	As Per Price List/Mutually Agreed Upon
			TOTAL Lower Ground Floor COVID. AREA			10039.93				

Note: The percentage of undivided share in the land is calculated on the basis of the covered area of the apartment in relation to the total covered area of the apartments, being the aggregate of

Place : Ghaziabad  
Date : / /2022

Signature of declarant with designation and seal

For Pav Realty Limited

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**ASSET LIST OF ORBIT PLAZA CROSSING REPUBLIK GHAZIABAD**




**HT SYSTEM**

Sr No	LOCATION	DESCRIPTION	MAKE	RATING	Serial No	Status	Model No.	Installation
1	Ground Floor(Outer Area)	HT METER-1( Dry Type)	Electro Control Transformers	11KV/110V	2441	OK	NA	May-16
2	Ground Floor(Outer Area)	HT METER-2 ( Dry Type)	Electro Control Transformers	11KV/110V	2442	OK	NA	May-16
3	Ground Floor(Outer Area)	RING MAIN UNIT (RMU)-SF6 INSULATED RMU	Schnieder Electric	11 KV/630 A	FBX167739	OK	FBX-C/12-21/CCT2	May-16

**LT SYSTEM**

Sr No	LOCATION	DESCRIPTION	MAKE	RATING	Serial No	Status	Model No.	Installation
5	Ground Floor(Outer Area)	Transformer-1 (Oil Type Packaged Unit)	Schnieder Electric	1500 KVA	FBX167985	Ok	FBX-C/12-21/M+CT2T2	
6	Ground Floor(Outer Area)	Transformer-2 (Oil Type Packaged Unit)	Schnieder Electric	1500 KVA	FBX167984	Ok	FBX-C/12-21/CCT2	
7	Basement-2 (LT Room)	Transformer Incomer-1-ACB	Schnieder Electric	2500 Amp	K155220081	Ok	EASY PACT	
8	Basement-2 (LT Room)	Transformer Incomer-2-ACB	Schnieder Electric	2500 Amp	K155220082	Ok	EASY PACT	
9	Basement-2 (LT Room)	DG Incomer-1-ACB	Schnieder Electric	1250 Amp	K155220086	Ok	EASY PACT	
10	Basement-2 (LT Room)	DG Incomer-2-ACB	Schnieder Electric	1250 Amp	K155220083	Ok	EASY PACT	
11	Basement-2 (LT Room)	DG Incomer-3-ACB	Schnieder Electric	1250 Amp	K155220085	Ok	EASY PACT	
12	Basement-2 (LT Room)	DG Incomer-4-ACB	Schnieder Electric	1250 Amp	K155220084	Ok	EASY PACT	
13	Basement-2 (LT Room)	Buscoupler-1-ACB	Schnieder Electric	1250 Amp	K155220088	Ok	EASY PACT	
14	Basement-2 (LT Room)	Buscoupler-2-ACB	Schnieder Electric	2500 Amp	K155220080	Ok	EASY PACT	
15	Basement-2 (LT Room)	Buscoupler-3-ACB	Schnieder Electric	1250 Amp	K155220087	Ok	EASY PACT	
	Basement-2 (LT Room)	Outgoing ACB 01 capacitor panel 1	Schnieder Electric	1250 Amp		OK	EASY PACT	
	Basement-2 (LT Room)	Outgoing ACB 01 capacitor panel 2	Schnieder Electric	1250 Amp		OK	EASY PACT	
16	Basement-2 (LT Room)	Capacitor Panel-1	Application Control Pvt Ltd.	600 KVAR	K155220091	Ok	EPCOS	
17	Basement-2 (LT Room)	Capacitor Panel-2	Application Control Pvt Ltd.	600 KVAR	K155220090	Ok	EPCOS	
18	Basement-2 (LT Room)	Main Lift Panel	Application Control Pvt Ltd.	200 Amp	F151541001	Ok	NA	
19	Basement-2 (LT Room)	Ups Outgoing Panel	Application Control Pvt Ltd.	100 Amp	F151540701	Ok	NA	
20	Basement-2 (LT Room)	Mechanical Parking Panel	Application Control Pvt Ltd.	630Amp	F151540901	Ok	NA	
21	Basement-2 (LT Room)	Ventilation Fan Panel Phase-1	Application Control Pvt Ltd.	400 Amp	F151540201	Ok	NA	
22	Basement-2 (LT Room)	WTP Panel	Application Control Pvt Ltd.	200 Amp	NA	Ok	NA	
23	Basement-2 (LT Room)	Fire Fighting Panel	Application Control Pvt Ltd.	800 Amp	NA	Ok	NA	
24	Basement-2 (LT Room)		Application Control Pvt Ltd.	630 Amp	NA	Ok	NA	
25	Basement-2 (LT Room)		Application Control Pvt Ltd.	630 Amp	NA	Ok	NA	
26	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
27	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
28	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
29	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
30	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
31	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
32	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
33	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
34	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
35	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
36	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
37	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
38	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	
39	Basement-2 (LT Room)		Application Control Pvt Ltd.	400 Amp	NA	Ok	NA	

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95	Basement-2 (LT Room)	Application Control Pvt Ltd.	63 Amp	NA	Ok	NA	
96	Basement-2 (LT Room)	Application Control Pvt Ltd.	63 Amp	NA	Ok	NA	
97	Basement-2 (LT Room)	Application Control Pvt Ltd.	63 Amp	NA	Ok	NA	
98	Basement-2 (LT Room)	Application Control Pvt Ltd.	63 Amp	NA	Ok	NA	
99	Basement-2 (LT Room)	Application Control Pvt Ltd.	63 Amp	NA	Ok	NA	
100	Basement-2 (LT Room)	Application Control Pvt Ltd.	63 Amp	NA	Ok	NA	
101	Basement-2 (LT Room)	Application Control Pvt Ltd.	63 Amp	NA	Ok	NA	
102	Basement-2 (LT Room)	Application Control Pvt Ltd.	63 Amp	NA	Ok	NA	
103	Basement-2 (LT Room)	Application Control Pvt Ltd.	63 Amp	NA	Ok	NA	
104	Basement-2 (LT Room)	Application Control Pvt Ltd.	40 Amp	NA	Ok	NA	
105	Basement-2 (LT Room)	Application Control Pvt Ltd.	40 Amp	NA	Ok	NA	
106	Basement-2 (LT Room)	Application Control Pvt Ltd.	40 Amp	NA	Ok	NA	
107	Basement-2 (LT Room)	Application Control Pvt Ltd.	32 Amp	NA	Ok	NA	

#### DG SYSTEM

Sr No	LOCATION	DESCRIPTION	MAKE	RATING	Engine serial No	Status	Alternator no.	Date of Installation
108	Ground Floor(Outer Area)	DG-1 (750 KVA)-Silent Type (KTA 34 G)	Cummins India Pvt. Ltd.	750 KVA/987 BHP	25412381	Ok	N151361435	2016
109	Ground Floor(Outer Area)	DG-2 (750 KVA)-Silent Type (KTA 34 G)	Cummins India Pvt. Ltd.	750 KVA/987 BHP	25412382	Ok	N151361582	2016
110	Ground Floor(Outer Area)	DG-3(125 KVA)-Silent Type	Cummins India Pvt. Ltd.			OK		
111	Ground Floor(Outer Area)	Diesel Tank	NA	1000 Ltrs.		OK		

#### WATER TREATMENT PLANT(WTP)

Sr No	LOCATION	DESCRIPTION	MAKE	RATING	Serial No	Status	Model No.	Date of Installation
111	Basement-2 ( Pump Room)	Filter feed Pump-1	Kirloskar Brother India Ltd.	3.7 kw/ 5 hp	A6ALW001755	Ok	KDS-538+++	
112	Basement-2 ( Pump Room)	Filter feed Pump-2	Kirloskar Brother India Ltd.	3.7 kw/ 5 hp	A5ALW003917	Ok	KDS-538+++	
113	Basement-2 ( Pump Room)	Domestic Pump-1	Kirloskar Brother India Ltd.	7.5 kw/10 hp	A6A15000105	Ok	KDS1065+++	
114	Basement-2 ( Pump Room)	Domestic Pump-2	Kirloskar Brother India Ltd.	7.5 Kw/10 hp	A6A15000107	Ok	KDS1065+++	
115	Basement-2 ( Pump Room)	Soft Feed Pump-1	Kirloskar Brother India Ltd.	2 Kw/ 3 hp	A5ATF002698	Ok	KDS335+++	
116	Basement-2 ( Pump Room)	Soft Feed Pump-2	Kirloskar Brother India Ltd.	2 Kw/ 3 hp	A5ATF002699	Ok	KDS335+++	
117	Basement-2 ( Pump Room)	Soft Water Transfer pump-1	Kirloskar Brother India Ltd.	5.5 Kw/ 7.5 hp	ASLBH000194	Ok	KDT864+++	
118	Basement-2 ( Pump Room)	Soft Water Transfer pump-2	Kirloskar Brother India Ltd.	5.5 Kw/ 7.5 hp	ASBH000217	Ok	KDT864+++	
119	Basement-2 ( Pump Room)	Air Blower- Pump	Airvic Industries Pvt. Ltd.	50m3/hr/ 0.5 Kg/cm2	150100533	Ok	42AC	
120	Basement-2 ( Pump Room)	Air Blower- Motor	Crompton Greaves Ltd.	2.2 Kw/3 Hp	DHG11206	Ok	1632J	
121	Basement-2 ( Pump Room)	UV Filter System Panel	Ace Hygiene product pvt. Ltd.	230 V/50 Hz	292789/14	Ok	370419333	
122	Basement-2 ( Pump Room)	UV Filter Flange tube	Ace Hygiene product pvt. Ltd.	230 V/50 Hz	288394/13	Ok	370419333	
123	Basement-2 ( Pump Room)	Softner Tank	GMGR	12600 LPH	NA	OK	NA	
124	Basement-2 ( Pump Room)	Activated Carbon Filter(ACF)	GMGR	15000 LPH	NA	OK	NA	
125	Basement-2 ( Pump Room)	Dual Media Filter (DMF)	GMGR	20000 LPH	NA	Ok	NA	
126	Basement-2 ( Pump Room)	Brine Tank Motor	Remi elektrotechnik Ltd.	0.75 Kw/ 1 hp	NA	Ok	NA	
127								

#### HVAC CHILLER SYSTEM

Sr No	LOCATION	DESCRIPTION	MAKE	RATING	Serial No	Status	Model No.	Date of Installation
128	TERRACE	CHILLER PLANT	TRANE	120 TR/440.6	G16C00680	OK	RTWD120E3A02C1A18A 2A1A11111A0000000000 00000000XXX	
129	TERRACE	PRIMARY PUMP-1	Crompton Greaves Ltd.	5.5 Kw/ 7.5 hp	LGAM17895	OK	LHNM4787	
130	TERRACE	PRIMARY PUMP-2	Crompton Greaves Ltd.	5.5 Kw/ 7.5 hp	LHK6371	OK	LHNM4786	
131	TERRACE	PRIMARY PUMP-3	Crompton Greaves Ltd.	5.5 Kw/ 7.5 hp	LHK6372	OK	LHNM4785	
132	TERRACE	SECONDRY PUMP-1	XYLEM	5.5 Kw/ 7.5 hp	91511404654	OK	2HS21300403AG002	
133	TERRACE	SECONDRY PUMP-2	XYLEM	5.5 Kw/ 7.5 hp	0913M404412	OK	2HS21300403A00002	
134	TERRACE	SECONDRY PUMP-3	XYLEM	5.5 Kw/ 7.5 hp	0913M40	OK	2HS21230403A00002	
135	TERRACE	CONDENSOR PUMP-1	XYLEM	11 KW/ 15HP	9131M402995	OK	2HS21640403A00002	
136	TERRACE	CONDENSOR PUMP-2	XYLEM	11 KW/ 15HP	9131M402993	OK	2HS21640403100002	
137	TERRACE	CONDENSOR PUMP-3	XYLEM	11 KW/ 15HP	0913M402994	OK	2HS21640403A00002	

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138	TERRACE	COOLING TOWER-1	BELL	200 T <sub>h</sub> 15 KW/ 20 HP	NA	OK		
139	TERRACE	COOLING TOWER-2	BELL	200 T <sub>h</sub> 15 KW/ 20 HP	NA	OK		
HVAC SYSTEM (PACKAGE UNIT SYSTEM)								
Sr No	LOCATION	DESCRIPTION	MAKE	RATING (TONS.)	Serial No	Status	Model No.	Date of Installation
140	All Floor	Package Unit-1	York	1.16	70302000801	OK	YWWH15C	
141	All Floor	Package Unit-2	York	1.16	70302000901	OK	YWWH15C	
142	All Floor	Package Unit-3	York	1.16	70302000701	OK	YWWH15C	
143	All Floor	Package Unit-4	York	1.16	70302001901	OK	YWWH15C	
144	All Floor	Package Unit-5	York	1.16	70302002001	OK	YWWH15C	
145	All Floor	Package Unit-6	York	1.16	70302002401	OK	YWWH15C	
146	All Floor	Package Unit-7	York	1.16	70302001301	OK	YWWH15C	
147	All Floor	Package Unit-8	York	1.16	70302001201	OK	YWWH15C	
148	All Floor	Package Unit-9	York	1.16	70303000301	OK	YWWH15C	
149	All Floor	Package Unit-10	York	1.16	70303001301	OK	YWWH15C	
150	All Floor	Package Unit-11	York	1.16	70303001501	OK	YWWH15C	
151	All Floor	Package Unit-12	York	1.16	70302000201	OK	YWWH15C	
152	All Floor	Package Unit-13	York	1.16	70303000901	OK	YWWH15C	
153	All Floor	Package Unit-14	York	1.16	70302000301	OK	YWWH15C	
154	All Floor	Package Unit-15	York	1.16	70302002201	OK	YWWH15C	
155	All Floor	Package Unit-16	York	1.16	70302002701	OK	YWWH15C	
156	All Floor	Package Unit-17	York	1.16	70302002601	OK	YWWH15C	
157	All Floor	Package Unit-18	York	1.16	70302001801	OK	YWWH15C	
158	All Floor	Package Unit-19	York	1.16	70303001201	OK	YWWH15C	
159	All Floor	Package Unit-20	York	1.16	70303001801	OK	YWWH15C	
160	All Floor	Package Unit-21	York	1.16	70302002201	OK	YWWH15C	
161	All Floor	Package Unit-22	York	1.16	70302000601	OK	YWWH15C	
162	All Floor	Package Unit-23	York	1.16	70303000601	OK	YWWH15C	
163	All Floor	Package Unit-24	York	1.16	70303000101	OK	YWWH15C	
164	All Floor	Package Unit-25	York	1.16	70302001101	OK	YWWH15C	
165	All Floor	Package Unit-26	York	1.16	70303001401	OK	YWWH15C	
166	All Floor	Package Unit-27	York	1.16	70303002001	OK	YWWH15C	
167	All Floor	Package Unit-28	York	1.16	70303000801	OK	YWWH15C	
168	All Floor	Package Unit-29	York	1.16	70302001401	OK	YWWH15C	
169	All Floor	Package Unit-30	York	1.16	70302000101	OK	YWWH15C	
170	All Floor	Package Unit-31	York	1.16	70303000101	OK	YWWH15C	
171	All Floor	Package Unit-32	York	1.16	70303001901	OK	YWWH15C	
172	All Floor	Package Unit-33	York	1.16	70302002301	OK	YWWH15C	
173	All Floor	Package Unit-34	York	1.16	70302002301	OK	YWWH15C	
174	All Floor	Package Unit-35	York	1.16	70302002101	OK	YWWH15C	
175	All Floor	Package Unit-36	York	1.16	70302002501	OK	YWWH15C	
176	All Floor	Package Unit-37	York	1.16	70302001501	OK	YWWH15C	
177	All Floor	Package Unit-38	York	1.16	70303000701	OK	YWWH15C	
178	All Floor	Package Unit-39	York	1.16	70303001701	OK	YWWH15C	
179	All Floor	Package Unit-40	York	1.16	70303001101	OK	YWWH15C	
180	All Floor	Package Unit-41	York	1.16	70302000501	OK	YWWH15C	
181	All Floor	Package Unit-42	York	1.16	70302001601	OK	YWWH15C	
182	All Floor	Package Unit-43	York	1.16	70303001001	OK	YWWH15C	
183	All Floor	Package Unit-44	York	1.16	70302000401	OK	YWWH15C	
184	All Floor	Package Unit-45	York	1.16	70302001001	OK	YWWH15C	
185	All Floor	Package Unit-46	York	1.16	70303000501	OK	YWWH15C	
186	All Floor	Package Unit-47	York	1.16	70303000401	OK	YWWH15C	
187	All Floor	Package Unit-48	York	1.16	70303001701	OK	YWWH15C	
188	FF-02	Package Unit-49	York	1.16	NA	OK	YWWH15C	
189	LG-45	Package Unit-50	York	1.16	6052600801	OK	YWWH15C	
190	LG-38	Package Unit-51	York	1.16	60526003601	OK	YWWH15C	
191	All Floor	Package Unit-52	York	1.16	70303001601	OK	YWWH15C	

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192	LG-23	Package Unit-53	York	1.16	60526001301	OK	YWWH15C
193	LG-9	Package Unit-54	York	1.16	60526001001	OK	YWWH15C
194	LG-03	Package Unit-55	York	1.16	60527000301	OK	YWWH15C
195	LG-02	Package Unit-56	York	1.16	60527001201	OK	YWWH15C
196	All Floor	Package Unit-57	York	1.16	60518000101	OK	YWWH15C
197	UG-04	Package Unit-58	York	1.16	60527000101	OK	YWWH15C
198	UG-10	Package Unit-59	York	1.16	60526001101	OK	YWWH15C
199	UG-11	Package Unit-60	York	1.16	60526000201	OK	YWWH15C
200	UG-14	Package Unit-61	York	1.16	60526000501	OK	YWWH15C
201	UG-15	Package Unit-62	York	1.16	60527002001	OK	YWWH15C
202	UG-16	Package Unit-63	York	1.16	60527001501	OK	YWWH15C
203	UG-22	Package Unit-64	York	1.16	60527000601	OK	YWWH15C
204	UG-32	Package Unit-65	York	1.16	60527000901	OK	YWWH15C
205	UG-49	Package Unit-66	York	1.16	60526000301	OK	YWWH15C
206	FF-63	Package Unit-67	York	1.16	60527000401	OK	YWWH15C
207	FF-48	Package Unit-68	York	1.16	60527001401	OK	YWWH15C
208	FF-45	Package Unit-69	York	1.16	60527001601	OK	YWWH15C
209	FF-21	Package Unit-70	York	1.16	60526000601	OK	YWWH15C
210	FF-14	Package Unit-71	York	1.16	60527001001	OK	YWWH15C
211	FF-11	Package Unit-72	York	1.16	60527000401	OK	YWWH15C
212	LG-08	Package Unit-73	York	1.16	NA	OK	YWWH15C
213	SHOP-219	Package Unit-74	York	1.16	60526000901	OK	YWWH15C
214	338A	Package Unit-75	York	1.16	60526002001	OK	YWWH15C
215	327	Package Unit-76	York	1.16	60527000201	OK	YWWH15C
216	328	Package Unit-77	York	1.16	60526001201	OK	YWWH15C
217	317A	Package Unit-78	York	1.16	60527000701	OK	YWWH15C
218	315	Package Unit-79	York	1.16	60527001901	OK	YWWH15C
219	421	Package Unit-80	York	1.16	60527001701	OK	YWWH15C
220	437	Package Unit-81	York	1.16	60527001301	OK	YWWH15C
221	LG-12	Package Unit-82	York	1.76	NA	OK	YWWH20C
222	UG-17	Package Unit-83	York	1.76	60526001601	OK	YWWH20C
223	All Floor	Package Unit-84	York	1.76	70304001601	OK	YWWH20C
224	All Floor	Package Unit-85	York	1.76	70304002001	OK	YWWH20C
225	All Floor	Package Unit-86	York	1.76	70304001801	OK	YWWH20C
226	All Floor	Package Unit-87	York	1.76	70304002601	OK	YWWH20C
227	All Floor	Package Unit-88	York	1.76	70304001901	OK	YWWH20C
228	All Floor	Package Unit-89	York	1.76	70304002101	OK	YWWH20C
229	All Floor	Package Unit-90	York	1.76	70304001201	OK	YWWH20C
230	All Floor	Package Unit-91	York	1.76	70302002801	OK	YWWH20C
231	All Floor	Package Unit-92	York	1.76	70302002901	OK	YWWH20C
232	All Floor	Package Unit-93	York	1.76	70304002501	OK	YWWH20C
233	All Floor	Package Unit-94	York	1.76	70304000501	OK	YWWH20C
234	All Floor	Package Unit-95	York	1.76	70305000501	OK	YWWH20C
235	All Floor	Package Unit-96	York	1.76	70223000201	OK	YWWH20C
236	All Floor	Package Unit-97	York	1.76	70305000301	OK	YWWH20C
237	All Floor	Package Unit-98	York	1.76	70304000301	OK	YWWH20C
238	All Floor	Package Unit-99	York	1.76	70304002401	OK	YWWH20C
239	All Floor	Package Unit-100	York	1.76	70304002701	OK	YWWH20C
240	All Floor	Package Unit-101	York	1.76	70304001501	OK	YWWH20C

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241	All Floor	Package Unit-102	York	1.76	70304003001	OK	YWWH20C
242	All Floor	Package Unit-103	York	1.76	70304002201	OK	YWWH20C
243	All Floor	Package Unit-104	York	1.76	70304002801	OK	YWWH20C
244	All Floor	Package Unit-105	York	1.76	70304002901	OK	YWWH20C
245	All Floor	Package Unit-106	York	1.76	70304001001	OK	YWWH20C
246	All Floor	Package Unit-107	York	1.76	70304001701	OK	YWWH20C
247	All Floor	Package Unit-108	York	1.76	70304000901	OK	YWWH20C
248	All Floor	Package Unit-109	York	1.76	70305000401	OK	YWWH20C
249	All Floor	Package Unit-110	York	1.76	70304001101	OK	YWWH20C
250	All Floor	Package Unit-111	York	1.76	70304002301	OK	YWWH20C
251	All Floor	Package Unit-112	York	1.76	70304000801	OK	YWWH20C
252	All Floor	Package Unit-113	York	1.76	70305000101	OK	YWWH20C
253	All Floor	Package Unit-114	York	1.76	70304000201	OK	YWWH20C
254	All Floor	Package Unit-115	York	1.76	70304000701	OK	YWWH20C
255	All Floor	Package Unit-116	York	1.76	70305000201	OK	YWWH20C
256	All Floor	Package Unit-117	York	1.76	70304000601	OK	YWWH20C
257	All Floor	Package Unit-118	York	1.76	70304001301	OK	YWWH20C
258	All Floor	Package Unit-119	York	1.76	70304000101	OK	YWWH20C
259	All Floor	Package Unit-120	York	1.76	70304001401	OK	YWWH20C
260	All Floor	Package Unit-121	York	1.76	60526002201	OK	YWWH20C
261	All Floor	Package Unit-122	York	1.76	70302003001	OK	YWWH20C
262	UG-38	Package Unit-123	York	1.76	60526002601	OK	YWWH20C
263	UG-02	Package Unit-124	York	1.76	60526000401	OK	YWWH20C
264	UG-05	Package Unit-125	York	1.76	60526002701	OK	YWWH20C
265	UG-24	Package Unit-126	York	1.76	60526001701	OK	YWWH20C
266	UG-23	Package Unit-127	York	1.76	60526003001	OK	YWWH20C
267	FF-37	Package Unit-128	York	1.76	60527002301	OK	YWWH20C
268	FF-35	Package Unit-129	York	1.76	60527002801	OK	YWWH20C
269	FF-34	Package Unit-130	York	1.76	60527002601	OK	YWWH20C
270	FF-33	Package Unit-131	York	1.76	60526003301	OK	YWWH20C
271	FF-24	Package Unit-132	York	1.76	60526002301	OK	YWWH20C
272	FF-12	Package Unit-133	York	1.76	60526002801	OK	YWWH20C
273	UG-25	Package Unit-134	York	1.76	NA	OK	YWWH20C
274	SHOP-210	Package Unit-135	York	1.76	NA	OK	YWWH20C
275	SHOP-219A	Package Unit-136	York	1.76	NA	OK	YWWH20C
276	324	Package Unit-137	York	1.76	60527002101	OK	YWWH20C
277	336	Package Unit-138	York	1.76	60526002401	OK	YWWH20C
278	337	Package Unit-139	York	1.76	60526001901	OK	YWWH20C
279	346	Package Unit-140	York	1.76	60526001501	OK	YWWH20C
280	323	Package Unit-141	York	1.76	60526002101	OK	YWWH20C
281	322A	Package Unit-142	York	1.76	60527003201	OK	YWWH20C
282	314	Package Unit-143	York	1.76	60526003101	OK	YWWH20C
283	303	Package Unit-144	York	1.76	60518000201	OK	YWWH20C
284	403A	Package Unit-145	York	1.76	60527002401	OK	YWWH20C
285	402A	Package Unit-146	York	1.76	60526001801	OK	YWWH20C
286	402	Package Unit-147	York	1.76	60526002601	OK	YWWH20C
287	407	Package Unit-148	York	1.76	60526003401	OK	YWWH20C
288	416A	Package Unit-149	York	1.76	60527002701	OK	YWWH20C
289	422A	Package Unit-150	York	1.76	60526003501	OK	YWWH20C
290	424A	Package Unit-151	York	1.76	60527002501	OK	YWWH20C
291	427A	Package Unit-152	York	1.76	60526002501	OK	YWWH20C
292	SHOP-224	Package Unit-153	York	1.76	NA	OK	YWWH20C
293	All Floor	Package Unit-154	York	2.08	70305002201	OK	YWWH25C
294	All Floor	Package Unit-155	York	2.08	70305002001	OK	YWWH25C

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295	All Floor	Package Unit-156	York	2.08	70305000801	OK	YWWH25C
296	All Floor	Package Unit-157	York	2.08	70305000701	OK	YWWH25C
297	All Floor	Package Unit-158	York	2.08	70305002101	OK	YWWH25C
298	All Floor	Package Unit-159	York	2.08	70304002301	OK	YWWH25C
299	All Floor	Package Unit-160	York	2.08	70223000301	OK	YWWH25C
300	All Floor	Package Unit-161	York	2.08	70305001101	OK	YWWH25C
301	All Floor	Package Unit-162	York	2.08	70305001501	OK	YWWH25C
302	All Floor	Package Unit-163	York	2.08	70305001201	OK	YWWH25C
303	All Floor	Package Unit-164	York	2.08	70305001601	OK	YWWH25C
304	All Floor	Package Unit-165	York	2.08	70305000601	OK	YWWH25C
305	All Floor	Package Unit-166	York	2.08	70305001901	OK	YWWH25C
306	All Floor	Package Unit-167	York	2.08	70305001401	OK	YWWH25C
307	All Floor	Package Unit-168	York	2.08	70304001701	OK	YWWH25C
308	All Floor	Package Unit-169	York	2.08	70305001801	OK	YWWH25C
309	All Floor	Package Unit-170	York	2.08	70305001001	OK	YWWH25C
310	All Floor	Package Unit-171	York	2.08	70305000901	OK	YWWH25C
311	All Floor	Package Unit-172	York	2.08	70305001301	OK	YWWH25C
312	LG-13	Package Unit-173	York	2.08	NA	OK	YWWH25C
313	SHOP-208	Package Unit-174	York	2.08	NA	OK	YWWH25C
314	SHOP-205	Package Unit-175	York	2.08	NA	OK	YWWH25C
315	404	Package Unit-176	York	2.08	60518000301	OK	YWWH25C
316	430	Package Unit-177	York	2.08	60526003701	OK	YWWH25C
317	All Floor	Package Unit-178	York	3.52	70306000101	OK	YWWH40C
318	All Floor	Package Unit-179	York	3.52	70306000501	OK	YWWH40C
319	All Floor	Package Unit-180	York	3.52	70305002901	OK	YWWH40C
320	All Floor	Package Unit-181	York	3.52	70306000401	OK	YWWH40C
321	All Floor	Package Unit-182	York	3.52	70306000201	OK	YWWH40C
322	All Floor	Package Unit-183	York	3.52	70306000301	OK	YWWH40C
323	All Floor	Package Unit-184	York	3.52	70223000401	OK	YWWH40C
324	All Floor	Package Unit-185	York	3.52	70305002401	OK	YWWH40C
325	All Floor	Package Unit-186	York	3.52	70305002701	OK	YWWH40C
326	All Floor	Package Unit-187	York	3.52	70305002501	OK	YWWH40C
327	All Floor	Package Unit-188	York	3.52	70305002801	OK	YWWH40C
328	All Floor	Package Unit-189	York	3.52	70306000601	OK	YWWH40C
329	All Floor	Package Unit-190	York	3.52	70305003001	OK	YWWH40C
330	All Floor	Package Unit-191	York	3.52	70305002601	OK	YWWH40C
331	UG-08	Package Unit-192	York	3.52	NA	OK	YWWH40C
332	307	Package Unit-193	York	3.52	60526004401	OK	YWWH40C
333	415	Package Unit-194	York	3.52	NA	OK	YWWH40C
334	414	Package Unit-195	York	3.52	60526004101	OK	YWWH40C
335	409	Package Unit-196	York	3.52	60526004101	OK	YWWH40C
336	418	Package Unit-197	York	3.52	60526004501	OK	YWWH40C
337	All Floor	Package Unit-198	York	4.12	70306001501	OK	YWWH50C
338	All Floor	Package Unit-199	York	4.12	70306001101	OK	YWWH50C
339	All Floor	Package Unit-200	York	4.12	70306001201	OK	YWWH50C
340	All Floor	Package Unit-201	York	4.12	70306001001	OK	YWWH50C
341	All Floor	Package Unit-202	York	4.12	70306001701	OK	YWWH50C
342	All Floor	Package Unit-203	York	4.12	70306001401	OK	YWWH50C
343	All Floor	Package Unit-204	York	4.12	70306000901	OK	YWWH50C
344	All Floor	Package Unit-205	York	4.12	70306001601	OK	YWWH50C
345	All Floor	Package Unit-206	York	4.12	70223000501	OK	YWWH50C
346	All Floor	Package Unit-207	York	4.12	70306000801	OK	YWWH50C
347	All Floor	Package Unit-208	York	4.12	70306001301	OK	YWWH50C
348	All Floor	Package Unit-209	York	4.12	70306000701	OK	YWWH50C
349	All Floor	Package Unit-210	York	4.12	NA	OK	YWWH50C
350	329	Package Unit-211	York	4.12	60518000501	OK	YWWH50C
351	All Floor	Package Unit-212	York	5.6	70307000301	OK	YWWH70C
352	All Floor	Package Unit-213	York	5.6	70307000201	OK	YWWH70C

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353	All Floor	Package Unit-214	York	5.6	70307000401	OK	YWWH70C
354	All Floor	Package Unit-215	York	5.6	70307000701	OK	YWWH70C
355	All Floor	Package Unit-216	York	5.6	70307001001	OK	YWWH70C
356	All Floor	Package Unit-217	York	5.6	70307000601	OK	YWWH70C
357	All Floor	Package Unit-218	York	5.6	70306002601	OK	YWWH70C
358	All Floor	Package Unit-219	York	5.6	70306002501	OK	YWWH70C
359	All Floor	Package Unit-220	York	5.6	70306002201	OK	YWWH70C
360	All Floor	Package Unit-221	York	5.6	70306002701	OK	YWWH70C
361	All Floor	Package Unit-222	York	5.6	70306002401	OK	YWWH70C
362	All Floor	Package Unit-223	York	5.6	70306002801	OK	YWWH70C
363	All Floor	Package Unit-224	York	5.6	70307000501	OK	YWWH70C
364	All Floor	Package Unit-225	York	5.6	70306003001	OK	YWWH70C
365	All Floor	Package Unit-226	York	5.6	70306002301	OK	YWWH70C
366	All Floor	Package Unit-227	York	5.6	70306002001	OK	YWWH70C
367	All Floor	Package Unit-228	York	5.6	70307001301	OK	YWWH70C
368	All Floor	Package Unit-229	York	5.6	70306001901	OK	YWWH70C
369	All Floor	Package Unit-230	York	5.6	70223000601	OK	YWWH70C
370	All Floor	Package Unit-231	York	5.6	70306001801	OK	YWWH70C
371	All Floor	Package Unit-232	York	5.6	70306002901	OK	YWWH70C
372	All Floor	Package Unit-233	York	5.6	70307001201	OK	YWWH70C
373	All Floor	Package Unit-234	York	5.6	70307000901	OK	YWWH70C
374	All Floor	Package Unit-235	York	5.6	70307000101	OK	YWWH70C
375	All Floor	Package Unit-236	York	5.6	70307001101	OK	YWWH70C
376	All Floor	Package Unit-237	York	5.6	70307000801	OK	YWWH70C
377	All Floor	Package Unit-238	York	5.6	70306002101	OK	YWWH70C
378	UG-27 & 28	Package Unit-239	York	5.6	60526005001	OK	YWWH70C
379	UG-33 & 35	Package Unit-240	York	5.6	NA	OK	YWWH70C
380	UG-31	Package Unit-241	York	5.6	60526004901	OK	YWWH70C
381	FF-31	Package Unit-242	York	5.6	NA	OK	YWWH70C
382	406	Package Unit-243	York	5.6	NA	OK	YWWH70C

### CONDENSOR WATER PUMP

Sr No	LOCATION	DESCRIPTION	MAKE	RATING	Serial No	Status	Model No.	Date of Installation
383	TERRACE	CONDENSOR PUMP-1	XYLEM	37 KW/ 50 HP	0913M403610	OK	2HS220403A00001	
384	TERRACE	CONDENSOR PUMP-2	XYLEM	37 KW/ 50 HP	0913M403279	OK	2HS220403A00001	
385	TERRACE	CONDENSOR PUMP-3	XYLEM	37 KW/ 50 HP	0913M403276	OK	2HS220403A00001	
386	TERRACE	CONDENSOR PUMP-4	XYLEM	37 KW/ 50 HP	0913M403958	OK	2HS220403A00001	
387	TERRACE	COOLING TOWER-1	BELL	300 TR /15 KW/20 HP	NA	OK		
388	TERRACE	COOLING TOWER-2	BELL	300 TR /15 KW/20 HP	NA	OK		
389	TERRACE	COOLING TOWER-3	BELL	300 TR /15 KW/20 HP	NA	OK		

### FIRE FIGHTING SYSTEM

Sr No	LOCATION	DESCRIPTION	MAKE	RATING/QTY	Serial No	Status	Model No.	Date of Installation
390	BASEMENT-2 PUMP ROOM	JOCKY PUMP	Kirloskar Brother India Ltd.	11 KW/15 HP	ZAA16/xv-27	OK		
391	BASEMENT-2 PUMP ROOM	HYDRENT PUMP	Kirloskar Brother India Ltd.	75 KW/100 HP	ZAA28/xv-02	OK		
392	BASEMENT-2 PUMP ROOM	SPRINKLER PUMP	Kirloskar Brother India Ltd.	75 KW/100 HP	ZAA28/xv-03	OK		
393	BASEMENT-2 PUMP ROOM	FIRE ENGINE	Kirloskar Brother India Ltd.	67.5 KW/92 HP	6H.2205.16/1300007	OK	6R1080NA	
394	BASEMENT-2 PUMP ROOM	DIESEL TANK	NA	200 Ltrs.		OK		
395	BASEMENT-2 PUMP ROOM	FIRE PANEL	NITYA	1		OK		
396	BASEMENT-2	FHP (HYDRENT POINT)	SAFEGAURD	3	NA	OK	NA	
397	BASEMENT-1	FHP (HYDRENT POINT)	SAFEGAURD	3	NA	OK	NA	
398	GROUND FLOOR	FHP (HYDRENT POINT)	SAFEGAURD	10	NA	OK	NA	
399	FIRST FLOOR	FHP (HYDRENT POINT)	SAFEGAURD	3	NA	OK	NA	
400	SECOND FLOOR	FHP (HYDRENT POINT)	SAFEGAURD	3	NA	OK	NA	
401	THIRD FLOOR	FHP (HYDRENT POINT)	SAFEGAURD	3	NA	OK	NA	
402	FOURTH FLOOR	FHP (HYDRENT POINT)	SAFEGAURD	3	NA	OK	NA	
403	FIFTH FLOOR	FHP (HYDRENT POINT)	SAFEGAURD	3	NA	OK	NA	

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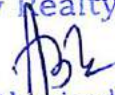
### LIFT MACHINE

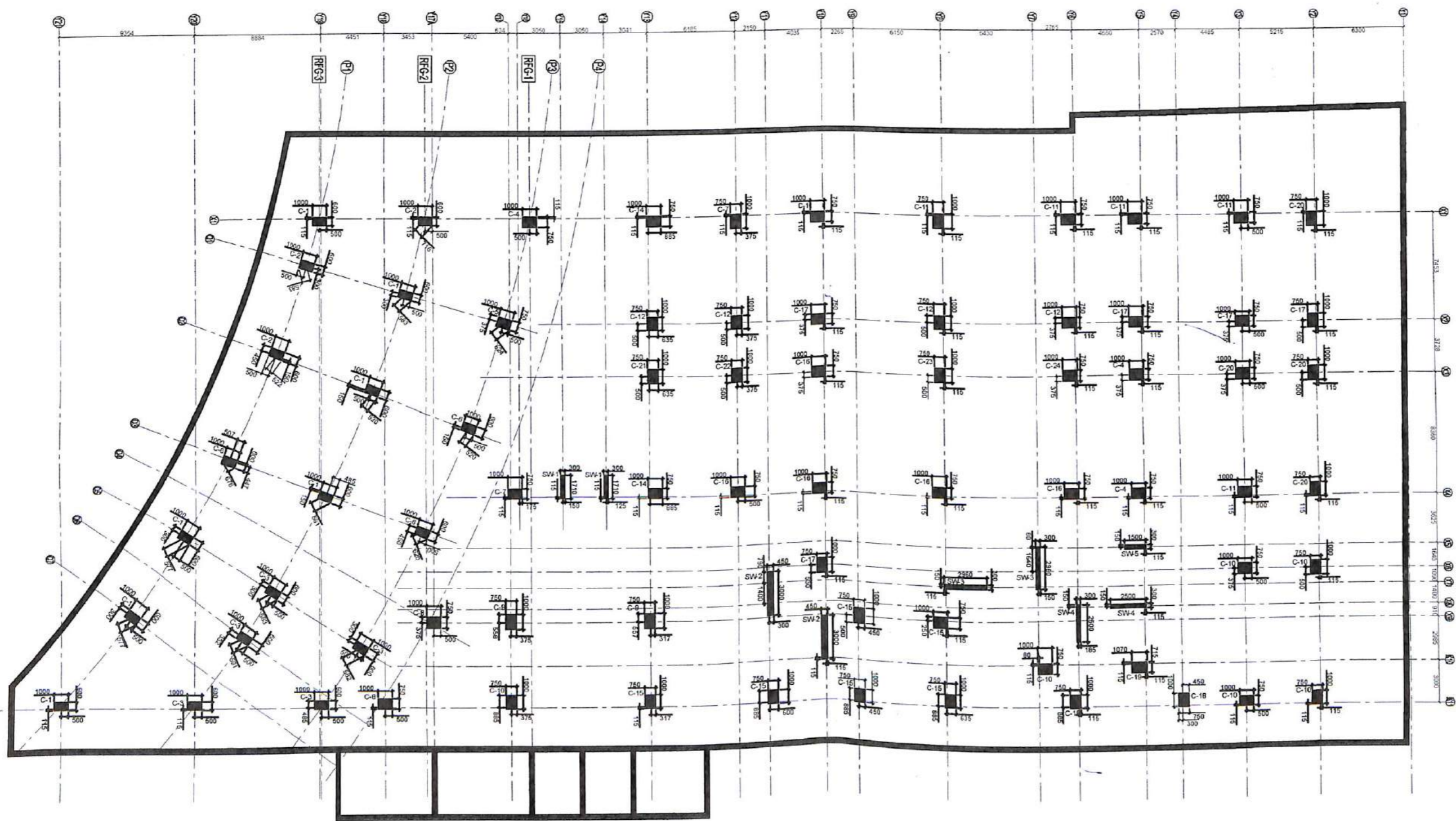
Sr No	LOCATION	DESCRIPTION	MAKE	RATING	Serial No	Status	Model No.	Date of Installation
403	ALL FLOOR	PASENGER LIFT-1	JOHNSON LIFTS	20 PERSON	5618	OK	Nextra	
404	ALL FLOOR	PASENGER LIFT-2	JOHNSON LIFTS	20 PERSON	5617	OK	Nextra	
405	ALL FLOOR	CAPSUL LIFT-1	JOHNSON LIFTS	13 PERSON	5618	OK	Nextra	
406	ALL FLOOR	CAPSUL LIFT-2	JOHNSON LIFTS	13 PERSON	5619	OK	Nextra	
407	ALL FLOOR	SERVICE LIFT	JOHNSON LIFTS	10 PERSON		NOT OK		

### FIRE ALARM SYSTEM

Sr No	LOCATION	DESCRIPTION	MAKE	RATING/QTY	Serial No	Status	Model No.	Date of Installation
408	BASEMENT-1 BMS ROOM	FIRE ALARM PANEL	HONEYWELL AUTOMATION					
409	BASEMENT-2	SPRINKLER POINT	NA	59DEG./200				
410	BASEMENT-1	SPRINKLER POINT	NA	59DEG./175		ok		
411	GROUND FLOOR	SPRINKLER POINT	NA	59DEG./200		ok		
412	FIRST FLOOR	SPRINKLER POINT	NA	59DEG./180		ok		
413	SECOND FLOOR	SPRINKLER POINT	NA	59DEG./165		ok		
414	THIRD FLOOR	SPRINKLER POINT	NA	59DEG./185		ok		
415	FOURTH FLOOR	SPRINKLER POINT	NA	59DEG./185		ok		
416	FIFTH FLOOR	SPRINKLER POINT	NA	59DEG./0		ok		

For Pav Realty Limited

  
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Column layout at foundation lvl.

For Pav Realty Limited  
*ABJ*  
 Authorised Signatory

- Notes:-
- All dimensions are in mm
  - Do not scale any dimensions
  - For layout of grid at site refer relevant arch. drawing
  - This drawing shall be read in conjunction with relevant arch./services dwg. Any discrepancy found there in shall be brought to the notice of consultant/Architect.
  - Concrete grade shall be as per column schedule.
  - For general details refer Dwg. No. OB/S-100
  - For column schedule refer Dwg. No. OB/S-301 onwards.
  - For foundation plan refer drawing no. OB/S-201

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RD	11.06.10	GOOD FOR CONSTRUCTION
AD	01.05.10	ADVANCE COPY
NO	DATE	REVISION

PROJECT  
**ORBIT PLAZA**  
 CROSSING REPUBLIK  
 NH-24

CLIENT

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 www.manishconsultants.com

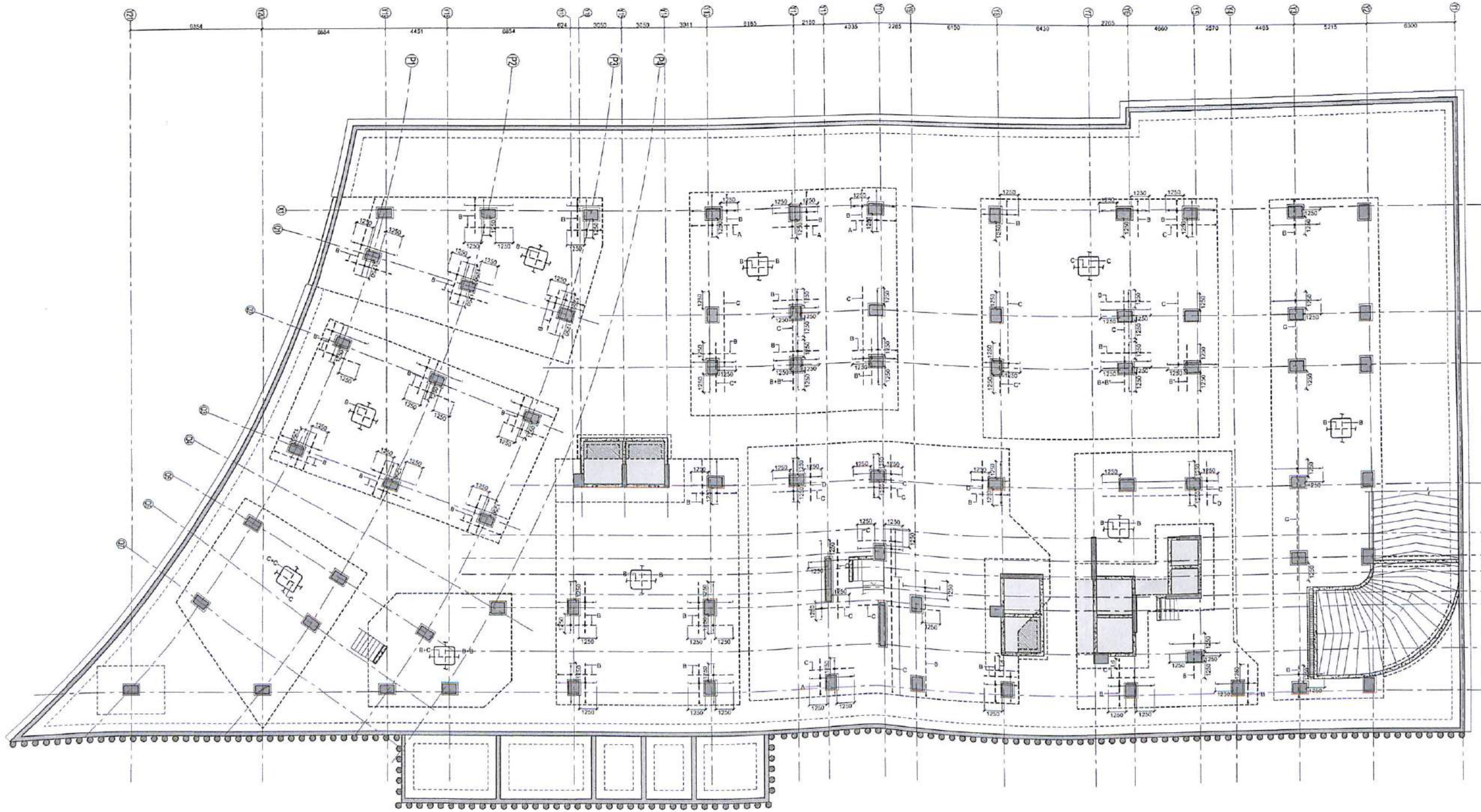
TITLE  
 Column layout at  
 foundation lvl.

SCALE  
 1:125

DATE  
 June, 2010

DRAWING NO.  
 OB/S-251

REV NO.  
 R0



Foundation reinforcement IV.  
(Bottom reinf.)

DESIG.	DESCRIPTION (Net spacing)
A	12@200c/c
B	16@200c/c
C	20@200c/c
D	25@200c/c
E	10@200c/c

\* TO BE PROVIDED  
IN SECOND LAYER.

- Notes:-**
- All dimensions are in mm
  - Do not scale any dimensions
  - For layout of grids at site refer relevant arch. drawing
  - This drawing shall be read in conjunction with relevant arch. services dwg. Any discrepancy found there in shall be brought to the notice of consultant/Architect.
  - Concrete grade shall be M25.
  - For general details refer dwg. No. OB/S-100
  - For column layout refer dwg. No. OB/S-251 onwards.
  - For location of drains/sumps refer services Dwg.
  - P.C.C. 1:4:8 shall be provided under all footings & under grade slab in services area. At all other places under grade slab P.C.C. 1:5:10 shall be used.
  - Structural Levels of grade slab in basement mentioned in this drawing are general levels as per arch. However, slopes for drainage etc. shall be provided as detailed arch./services Dwg.
  - For foundation plan refer drawing, no. OB/S-201
  - For top reinf. plan refer drawing, no. OB/S-202A
  - For pedestal details refer drawing no. OB/S-203
  - All footings to be placed concentrically w.r.t. column unless shown otherwise.
  - All footings shall rest on firm & hard strata. In case of level difference between footings level mentioned in the drawing & excavated levels as/site, the same shall be back-filled with P.C.C. 1:5:10 with 40mm or higher size aggregate.
  - Steel R/F shall be Fe-500 conforming to IS-1786
  - For retaining wall details refer drawing no. OB/S-204
  - For raft bottom R/F minimum extension of R/F beyond pedestal face should be  $L_d + 10D$ .
  - Although R/F shall be provided as mesh following plan shape of the raft

- Legend:-**
- Raft sunk as per services.
  - 200 Thk. edging slab at bottom of III pit.
  - Top reinf. shown thus.
  - Bottom reinf. shown thus.

NO.	DATE	REVISION
R0	20.05.10	GOOD FOR CONSTRUCTION

PROJECT  
**ORBIT PLAZA**  
CROSSINGS REPUBLIK  
AT VILLAGE DUNDAHERA,  
GHAZIABAD, NH-24

CLIENT  
**PAV Realty Pvt. Ltd.**

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TITLE  
**Foundation reinf. plan  
(Bottom reinf.)**

SCALE  
**1:150**

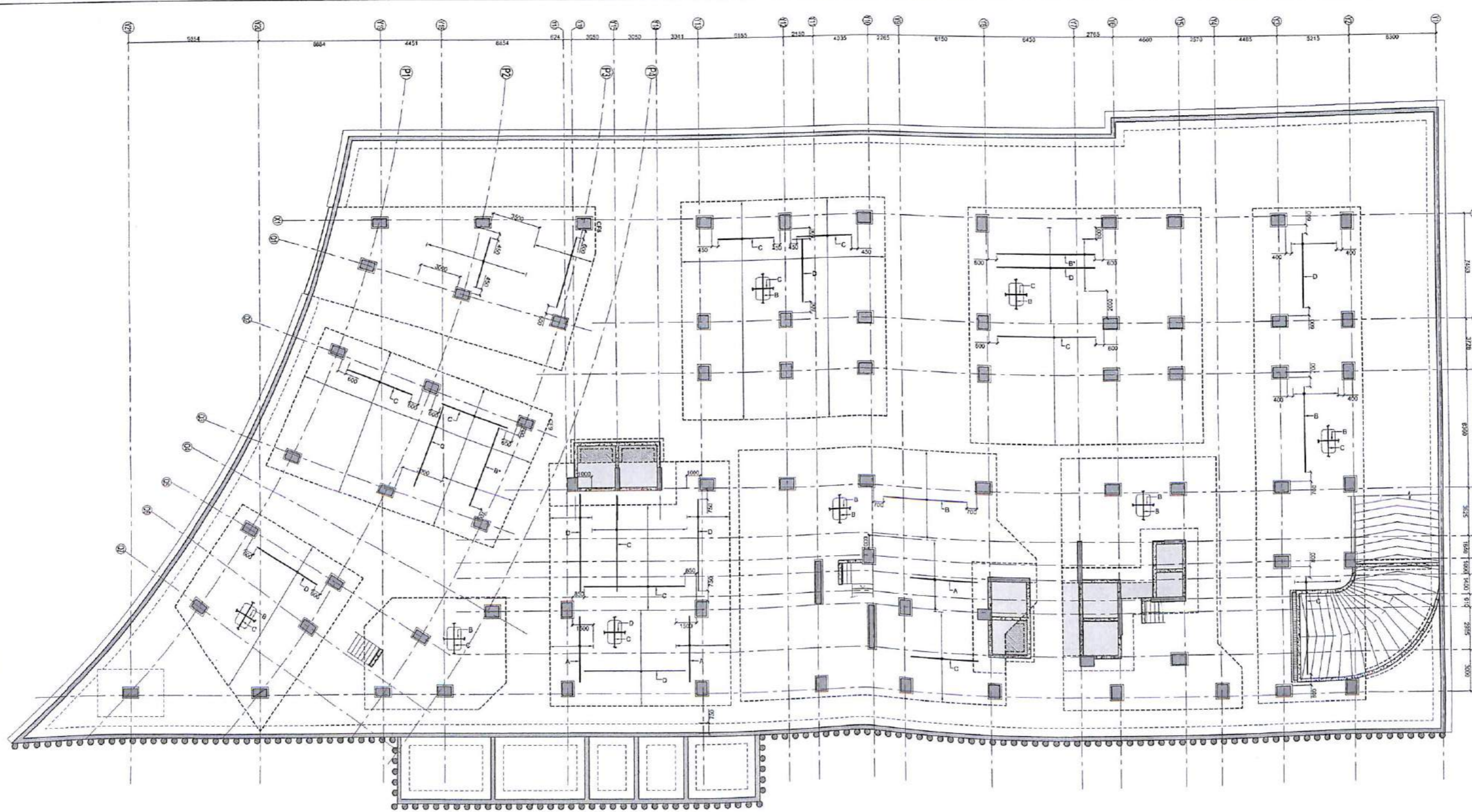
DATE  
**May, 2010**

DRAWING NO.  
**OB/S-202B**

REV. NO.  
**R0**

For Pav Realty Limited  
*DB*  
Authorised Signatory

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Foundation reinforcement lvl.  
(top reinf.)

DESIG.	DESCRIPTION (Net spacing)
A	124@200c/c
B	164@200c/c
C	204@200c/c
D	254@200c/c
E	104@200c/c

\* TO BE PROVIDED  
IN SECOND LAYER.

- Notes:-**
- All dimensions are in mm
  - Do not scale any dimensions
  - For layout of grids at site refer relevant arch. drawing
  - This drawing shall be read in conjunction with relevant arch./services dwg. Any discrepancy found there in shall be brought to the notice of consultant/Architect.
  - Concrete grade shall be M25.
  - For general details refer dwg. No. OB/S-100
  - For column layout refer dwg. No. OB/S-251 onwards.
  - For location of drains/sumps refer services Dwg.
  - P.C.C. 1:4:8 shall be provided under all footings & under grade slab in services area. At all other places under grade slab P.C.C. 1:5:10 shall be used.
  - Structural Levels of grade slab in basement mentioned in this drawing are general levels as per arch. However, slopes for drainage etc. shall be provided as detailed arch./services Dwg.
  - For foundation plan refer drawing, no. OB/S-201
  - For bottom reinf. plan refer drawing, no. OB/S-202B
  - For pedestal details refer drawing no. OB/S-203
  - All footings to be placed concentrically w.r.t. column unless shown otherwise.
  - All footings shall rest on firm & hard strata. In case of level difference between footings level mentioned in the drawing & excavated levels as site, the same shall be backfilled with P.C.C. 1:5:10 with 40mm or higher size aggregate.
  - Steel R/F shall be Fe-500 conforming to IS:1786
  - For retaining wall details refer drawing no. OB/S-204
  - For raft bottom R/F minimum extension of R/F beyond pedestal face should be  $L_d + 10D$ .
  - Although R/F shall be provided as mesh following plan shape of the raft

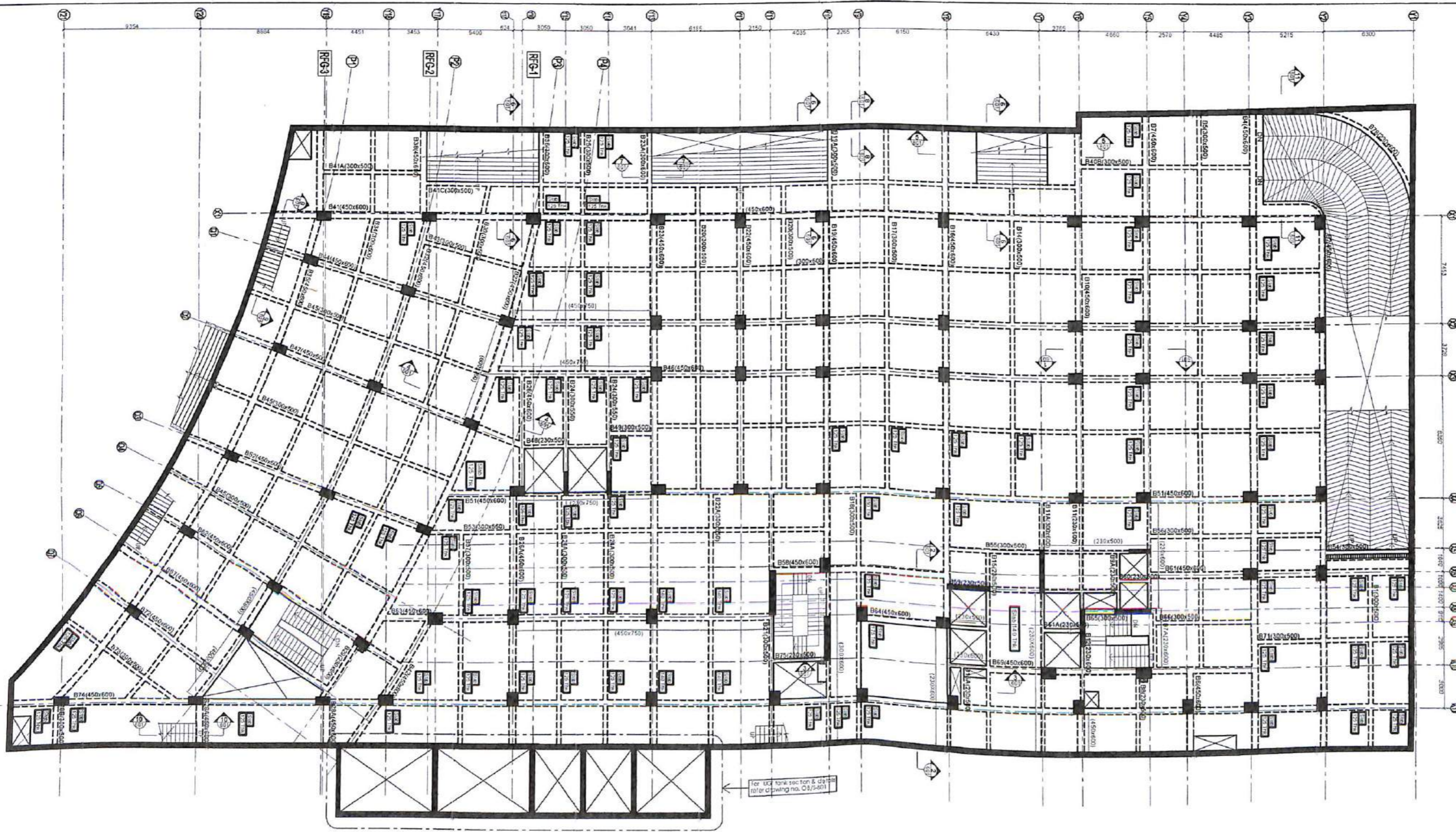
**Legend:-**

- Reft sunk as per services.
- 200 Thk. seating slab at bottom of lift pit.
- Top reinf. shown thus.
- Bottom reinf. shown thus.

NO	28.05.10	GOOD FOR CONSTRUCTION
NO.	DATE	REVISION
PROJECT		
ORBIT PLAZA CROSSINGS REPUBLIK AT VILLAGE DUNDAHERA, GHAZIABAD, NH-24		
CLIENT		
PAV Reality Pvt. Ltd.		
ARCHITECT		
VAIBHAVJAIN & ASSOCIATES 195, RAM VIHAR, DELHI-110092 PHONE/FAX :- 42518322,22377102 E mail :- avinash@nae.co.in, info@nae.co.in		
STRUCTURE		
ManishConsultants C/16 FIRST FLOOR, ARDEE CITY Gurgaon 122002 tel:124.429.5189 telefax:124.414.4714 manish@manishconsultants.com manishconsultants@alrtelmail.in www.manishconsultants.com		
TITLE		
Foundation reinf. plan (top reinf.)		
SCALE		
1:150		
DATE		
May, 2010		
DRW/NO	OB/S-202A	REV/NO
		R0

For Pav Reality Limited  
*APB*  
Authorised Signatory

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Framing plan at lower ground lvl.

For tick mark section & details refer drawing no. O/S-401

For Pav Realty Limited  
*MBZ*  
 Authorised Signatory

- Notes:-**
- All dimensions are in mm
  - Do not scale any dimensions
  - For layout of grid at site refer relevant arch. drawing
  - This drawing shall be read in conjunction with relevant arch./services dwg. Any discrepancy found there in shall be brought to the notice of consultant/Architect.
  - Concrete grade shall be M25.
  - For general details refer dwg. No. OB/S-100
  - For beam details refer Dwg. No. OB/S-451 onwards.
  - For slab reinforcement details OB/S-401A
  - For stair case details refer separate dwg.
  - For exact layout of cutouts & sleeves refer arch./services dwg.
  - Wherever not shown, beams layout shall be placed symmetrically w.r.t. grid line / column face.
  - All beam column and beam-slab junctions shall be cast using conc. grade the highest of beam column & beam-slab respectively.
  - For layout beams & cutouts refer relevant arch. slab profile.

- Legend:-**
- Slab sunk by 100
  - Column goes up
  - Column terminates at this lvl.

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NO.	DATE	REVISION
R1	28.07.10	REVISED AS PER ARCH.
R0	23.06.10	GOCD FOR CONSTRUCTION
A1	04.12.09	FOR APPROVAL
AD	17.11.09	FOR CO-ORDINATION

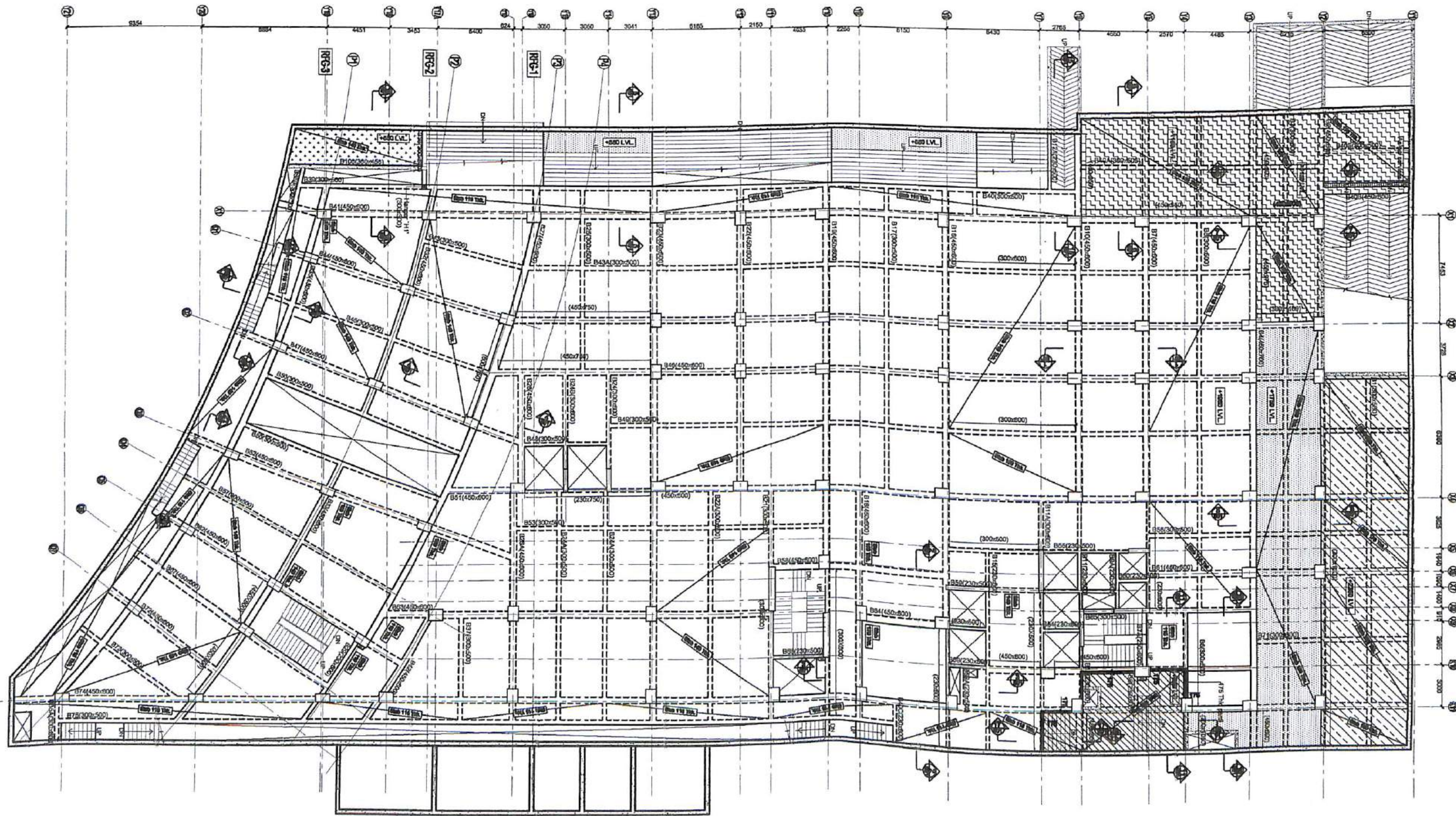
**PROJECT**  
 ORBIT PLAZA  
 CROSSINGS REPUBLIK  
 AT VILLAGE DUNDAHERA,  
 GHAZIABAD, NH-24

**CLIENT**  
 PAV Realty  
 Pvt. Ltd.

**ARCHITECT**  
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 E mail : avinash@nae.co.in,  
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 manishconsultants@airtelmail.in  
 www.manishconsultants.com

<b>TITLE</b> Framing plan at lower ground lvl.	
<b>SCALE</b>	1:125
<b>DATE</b>	June, 2010
<b>DRAWING NO.</b>	OB/S-401
<b>REV NO.</b>	R1



Framing plan at upper ground lvl.

For Pav Realty Limited  
*AB*  
 Authorised Signatory

- Notes:-
- All dimensions are in mm
  - Do not scale any dimensions
  - For layout of grid at site refer relevant arch. drawing
  - This drawing shall be read in conjunction with relevant arch./services dwg. Any discrepancy found there in shall be brought to the notice of Consultant/Architect.
  - Concrete grade shall be M25.
  - For general details refer dwg. No. OB/S-100
  - For beam details refer Dwg. No. OB/S-451 onwards.
  - For slab reinforcement details refer Dwg no. OB/S-402A
  - All slabs are 125 thk. unless shown otherwise.
  - For section & details refer drawing no. OB/S-601
  - For stair case details refer separate dwg.
  - For exact layout of cutouts & sleeves refer arch./services dwg.
  - Wherever not shown, beams layout shall be placed symmetrically w.r.t. grid line / column face.
  - All beam column and beam-slab junctions shall be cast using conc. grade the highest of beam column & beam-slab respectively.

- Legend:-
- Slab sunk by 100
  - Column goes up
  - Column terminates at this lvl.

NO	DATE	REVISION
R1	01.09.10	REVISED AS PER ARCH
R0	18.08.10	GOOD FOR CONSTRUCTION
AD	14.07.10	ADVANCE COPY

PROJECT  
**ORBIT PLAZA**  
 CROSSINGS REPUBLIK  
 AT VILLAGE DUNDAHERA,  
 GHAZIABAD, NH-24

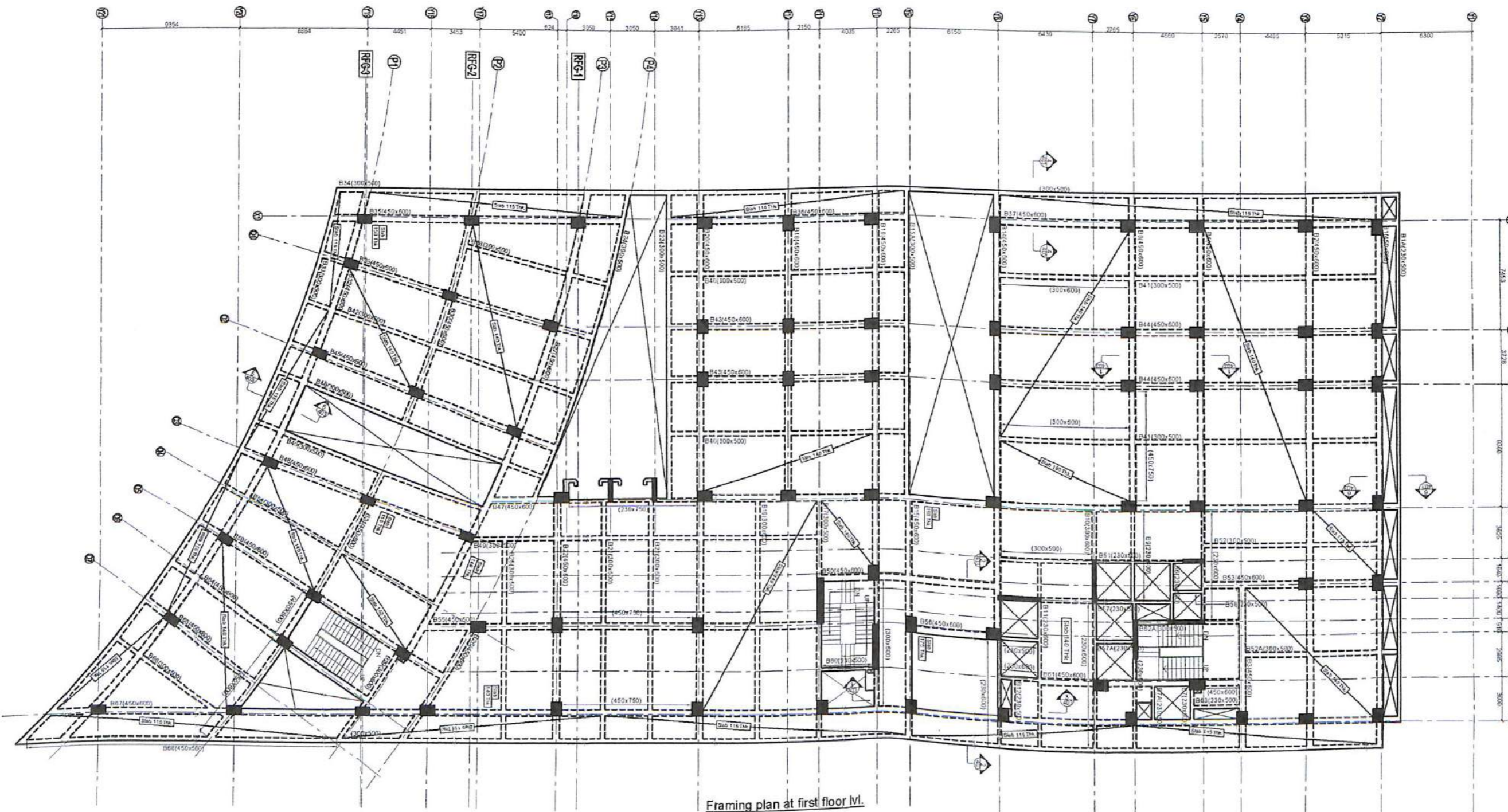
CLIENT  
**PAV Realty**  
 Pvt. Ltd.

ARCHITECT  
**VAIBHAVJAIN & ASSOCIATES**  
 195, RAM VIHAR, DELHI -110092  
 PHONE/FAX :- 42516322, 22377102  
 E mail :- avinash@nae.co.in,  
 info@nae.co.in

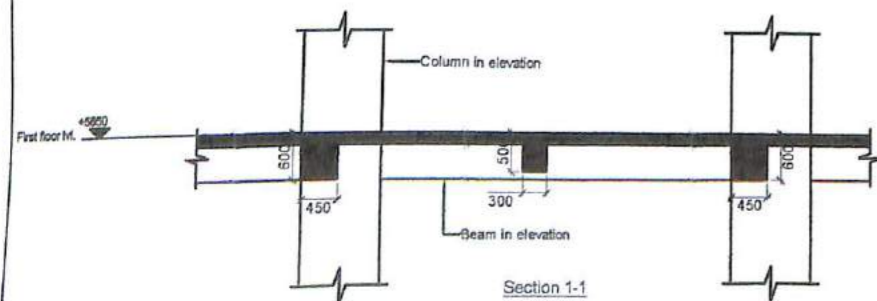
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 manishconsultants@airtelmail.in  
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TITLE	Framing plan at upper ground lvl.
SCALE	1:125
DATE	August, 2010
DRAWING NO.	OB/S-402
REV NO.	R1

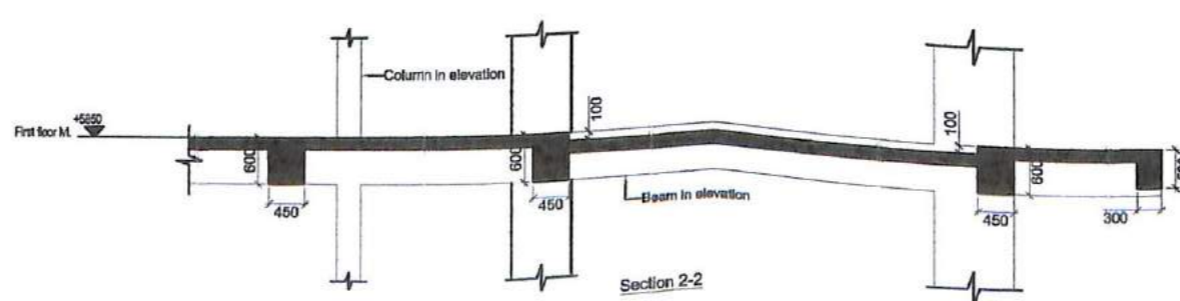
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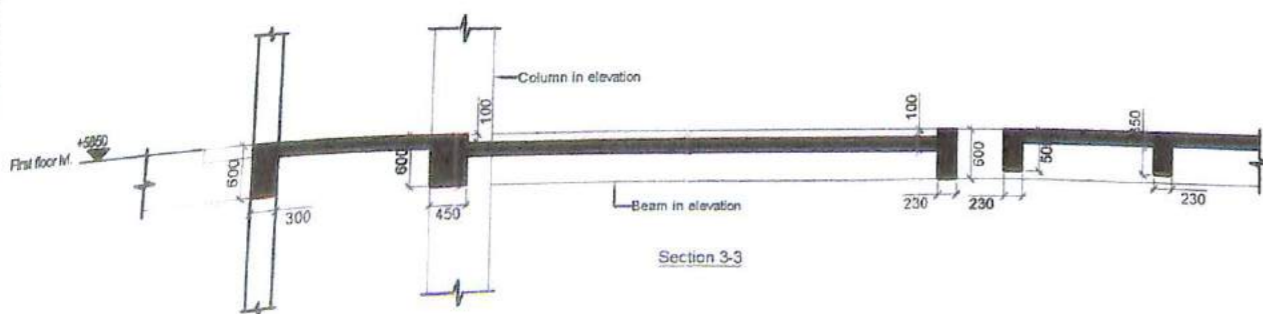
Framing plan at first floor lvl.



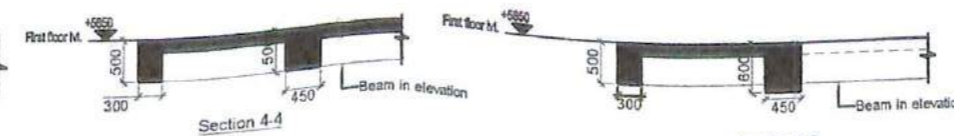
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Section 2-2



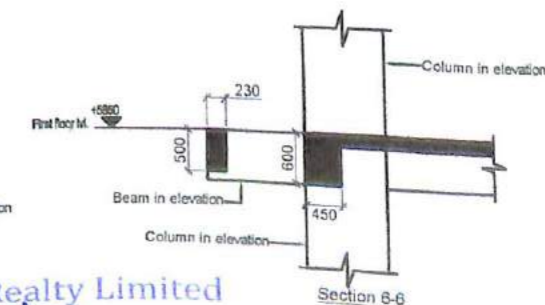
Section 3-3



Section 4-4



Section 5-5



Section 6-6

For Pav Realty Limited

Authorised Signatory

Notes:-

- All dimensions are in mm
- Do not scale any dimensions
- For layout of grid at site refer relevant arch. drawing
- This drawing shall be read in conjunction with relevant arch./services dwg. Any discrepancy found there in shall be brought to the notice of consultant/Architect.
- Concrete grade shall be M25.
- For general details refer dwg. No. OB/S-100
- For beam details refer Dwg. No. OB/S-451 onwards.
- For slab reinforcement details OB/S-403A
- All slabs are 125thk. unless shown otherwise.
- For stair case details refer separate dwg.
- For exact layout of cutouts & sleeves refer arch./services dwg.
- Wherever not shown, beams layout shall be placed symmetrically w.r.t. grid line / column face.
- All beam column and beam-slab junctions shall be cast using conc. grade the highest of beam column & beam-slab respectively.

Legend:-

- Slab sunk by 100
- Column goes up
- Column terminates at this M.

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NO	DATE	REVISION
R0	27.09.10	GOOD FOR CONSTRUCTION
A0	14.07.10	ADVANCE COPY

PROJECT  
**ORBIT PLAZA**  
CROSSINGS REPUBLIK  
AT VILLAGE DUNDAHERA,  
GHAZIABAD, NH-24

CLIENT  
**PAV Realty Pvt. Ltd.**

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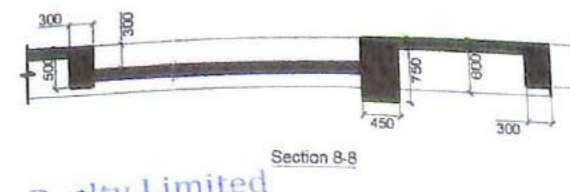
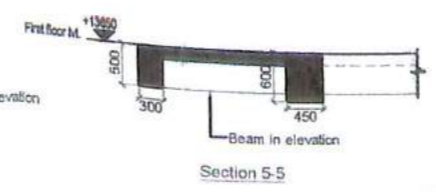
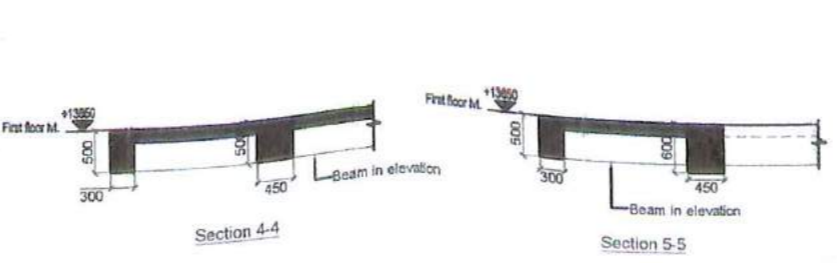
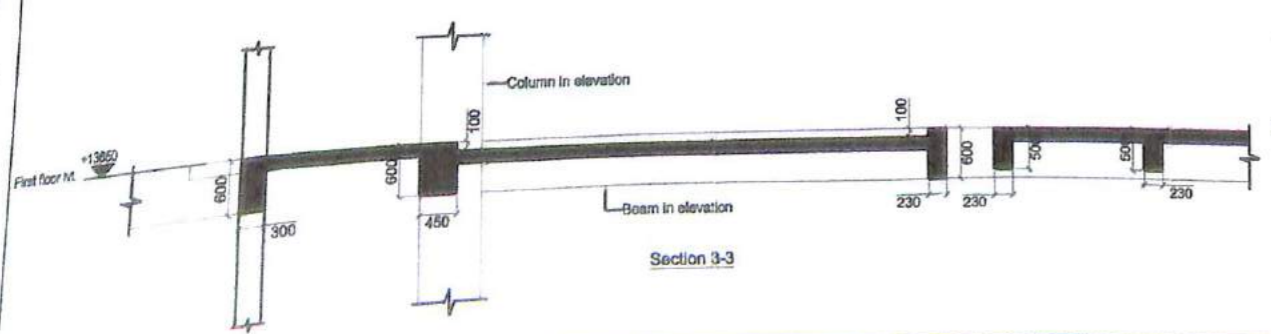
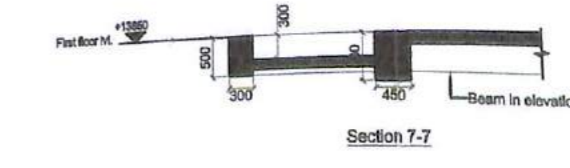
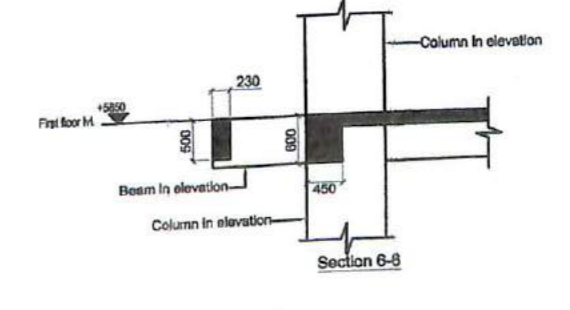
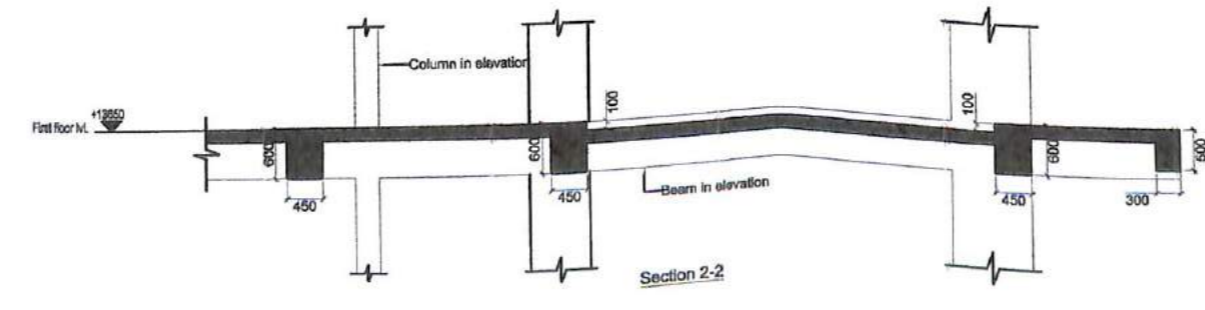
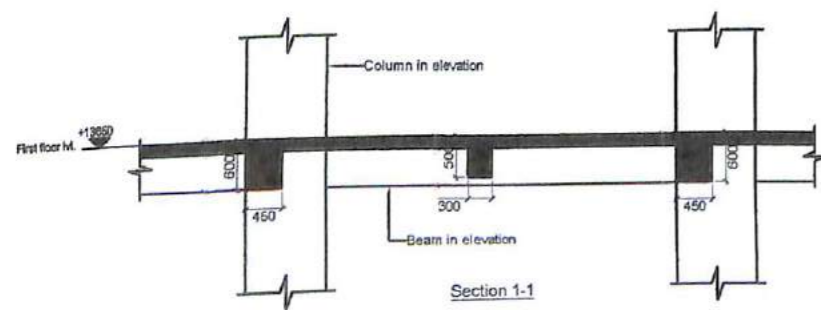
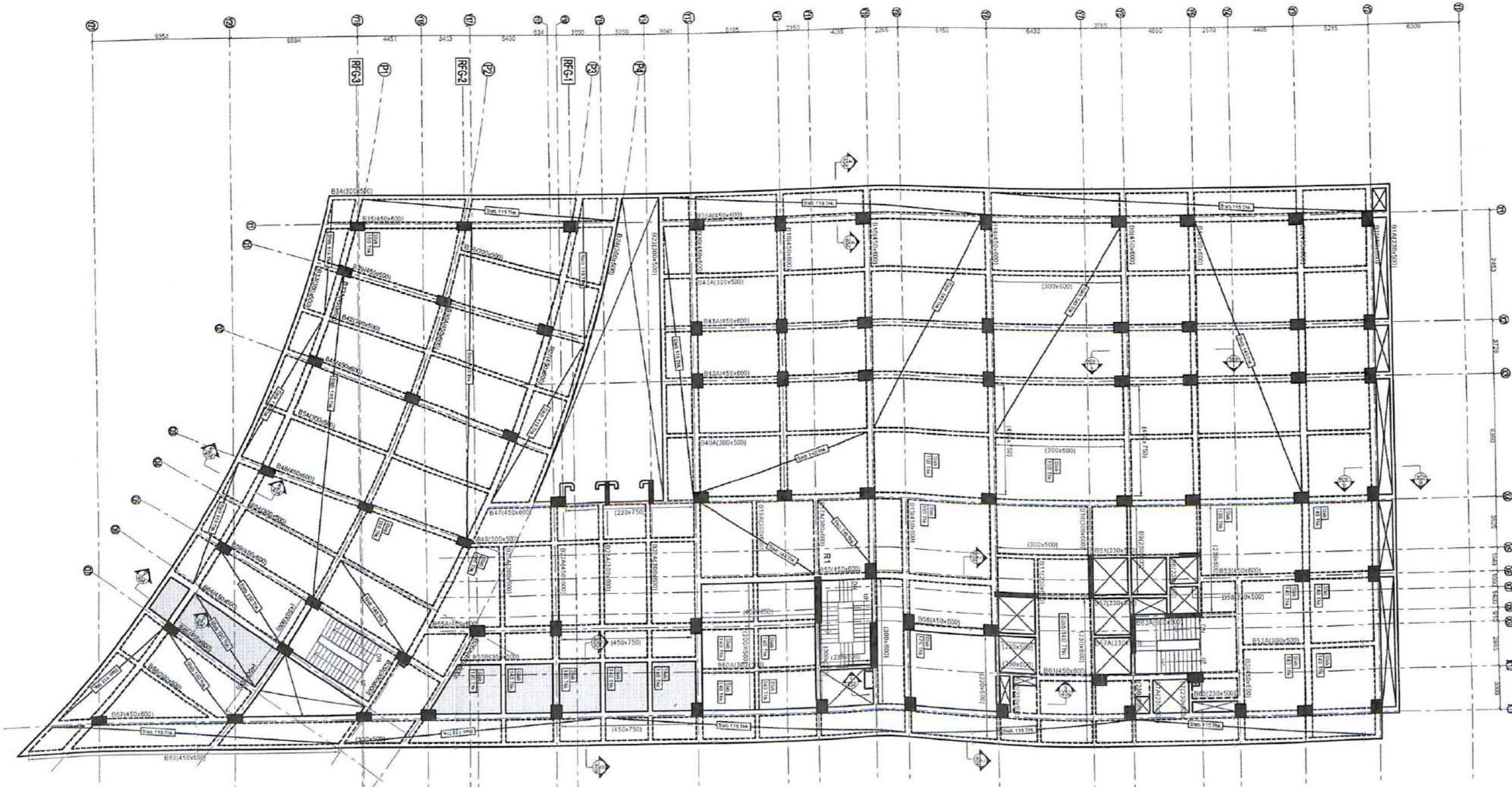
TITLE  
**Framing plan at first floor lvl.**

SCALE  
1:125

DATE  
September, 2010

DRAWING NO  
OB/S-403

REV NO  
R0



- Notes:-**
- All dimensions are in mm
  - Do not scale any dimensions
  - For layout of grid at site refer relevant arch. drawing
  - This drawing shall be read in conjunction with relevant arch./services dwg. Any discrepancy found there in shall be brought to the notice of consultant/Architect.
  - Concrete grade shall be M25.
  - For general details refer dwg. No. OB/S-100
  - For beam details refer Dwg. No. OB/S-451 onwards.
  - For slab reinforcement details OB/S-404A
  - All slabs are 125 thk. unless shown otherwise.
  - For stair case details refer separate dwg.
  - For exact layout of cutouts & sleeves refer arch./services dwg.
  - Wherever not shown, beams layout shall be placed symmetrically w.r.t. grid line / column face.
  - All beam column and beam-slab junctions shall be cast using conc. grade the highest of beam column & beam-slab respectively.

- Legend:-**
- Slab sunk by 100
  - Slab sunk by 300
  - Column goes up
  - Column terminates at this M.

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NO	DATE	REVISION
R1	27.04.11	As marked R1
R2	27.05.10	GOOD FOR CONSTRUCTION
A0	14.07.10	ADVANCE COPY

**PROJECT**  
ORBIT PLAZA  
CROSSING REPUBLIC  
NH-24

**CLIENT**

**ARCHITECT**  
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PHONE/FAX - 42516322, 22377102  
E mail - avinash@nae.co.in, info@nae.co.in

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tel:124.429.5139  
telefax:124.414.4714  
manish@manishconsultants.com  
manishconsultants@airtelmail.in  
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**TITLE**  
Framing plan at second floor lvl.

**SCALE**  
1:125

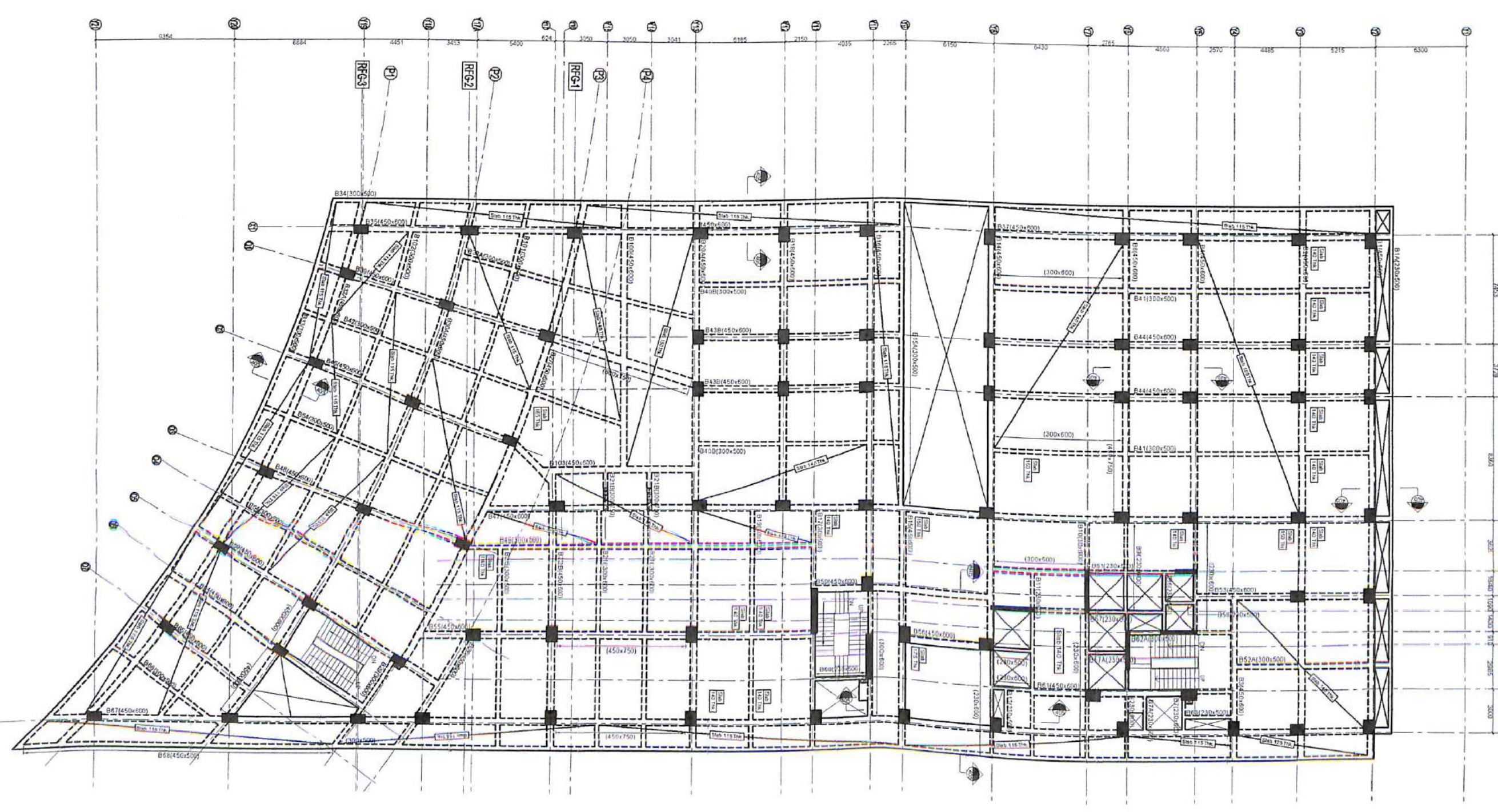
**DATE**  
September, 2010

**DRAWING NO**  
OB/S-404

**REV NO**  
R1

For Pav Realty Limited  
Authorized Signatory





- Notes:-**
- All dimensions are in mm
  - Do not scale any dimensions
  - For layout of grid at site refer relevant arch. drawing
  - This drawing shall be read in conjunction with relevant arch./services dwg. Any discrepancy found there in shall be brought to the notice of consultant/Architect.
  - Concrete grade shall be M25.
  - For general details refer dwg. No. OB/S-100
  - For beam details refer Dwg. No. OB/S-451 onwards.
  - For slab reinforcement details OB/S-405A
  - For stair case details refer separate dwg.
  - For exact layout of cutouts & sleeves refer arch./services dwg.
  - Wherever not shown, beams layout shall be placed symmetrically w.r.t. grid line / column face.
  - All beam column and beam-slab junctions shall be cast using conc. grade the highest of beam column & beam-slab respectively.

- Legend:-**
- Slab sunk by 100
  - Column goes up
  - Column terminates at this lvl.

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RD	27.09.10	GOOD FOR CONSTRUCTION
AT	04.12.09	FOR APPROVAL
AD	17.11.09	FOR CO-ORDINATION
NO	DATE	REVISION

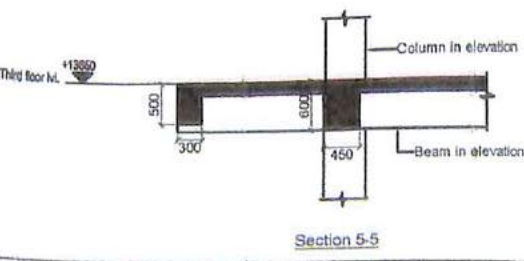
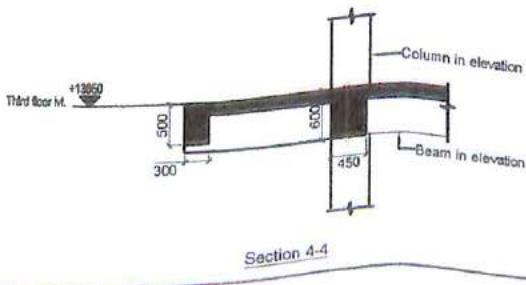
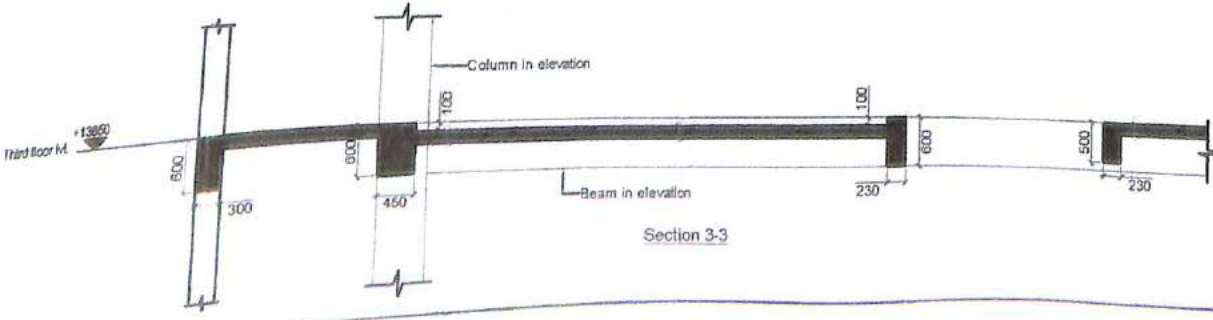
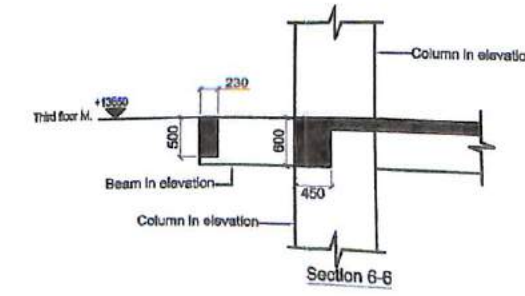
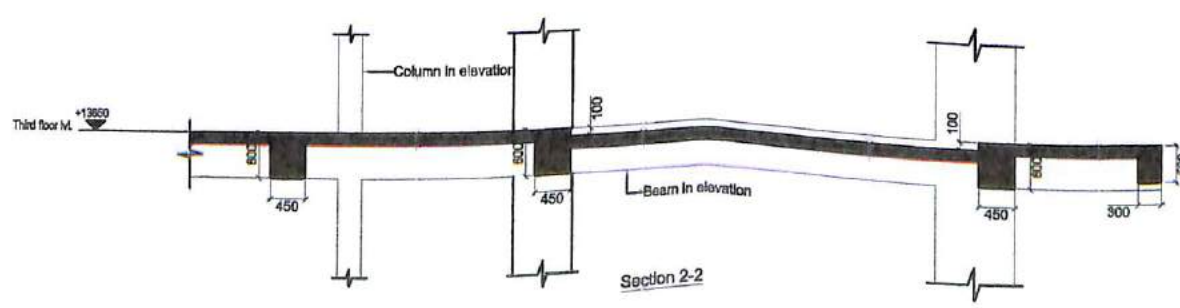
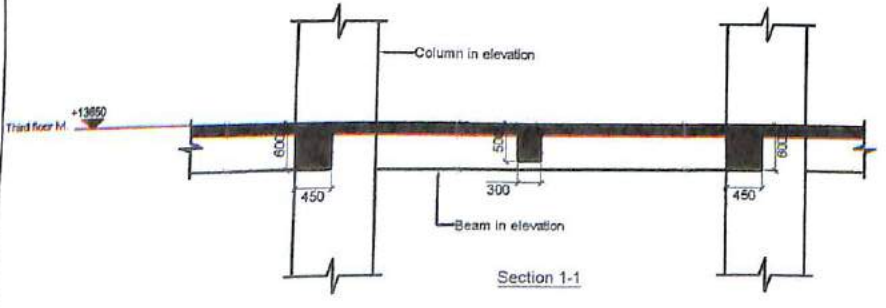
PROJECT  
**ORBIT PLAZA**  
CROSSING REPUBLIK  
NH-24

CLIENT

ARCHITECT  
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manishconsultants@airtelmail.in  
www.manishconsultants.com

TITLE	Framing plan at third floor lvl.	
SCALE	1:125	
DATE	September, 2010	
DRAWING NO	OB/S-405	REV NO
		R0



For Pav Realty Limited  
*[Signature]*  
Authorised Signatory

- Notes:-**
- All dimensions are in mm
  - Do not scale any dimensions
  - For layout of grid at site refer relevant arch. drawing
  - This drawing shall be read in conjunction with relevant arch./services dwg. Any discrepancy found there in shall be brought to the notice of consultant/Architect.
  - Concrete grade shall be M25.
  - For general details refer dwg. No. OB/S-100
  - For beam details refer Dwg. No. OB/S-451 onwards.
  - For slab reinforcement details OB/S-409A
  - For stair case details refer separate dwg.
  - For exact layout of cutouts & sleeves refer arch./services dwg.
  - Wherever not shown, beams layout shall be placed symmetrically w.r.t. grid line / column face.
  - All beam column and beam-slab junctions shall be cast using conc. grade the highest of beam column & beam-slab respectively.

- Legend:-**
- Slab sunk by 100
  - Column goes up
  - Column terminates at this pt.

NO	DATE	REVISION
R0	27.08.10	GOOD FOR CONSTRUCTION
R1	04.12.00	FOR APPROVAL
R0	17.11.00	FOR CO-ORDINATION
NO	DATE	REVISION

PROJECT  
**ORBIT PLAZA**  
CROSSING REPUBLIK  
NH-24

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manishconsultants@airtelmail.in  
www.manishconsultants.com

TITLE  
Framing plan at fourth floor lvl.

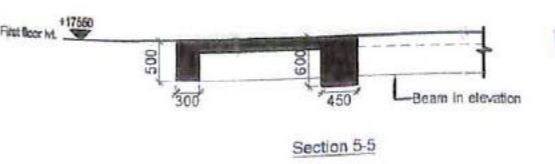
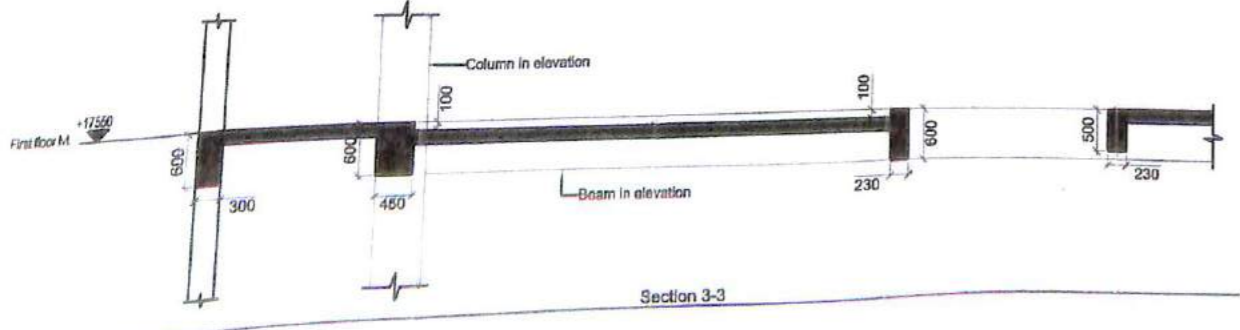
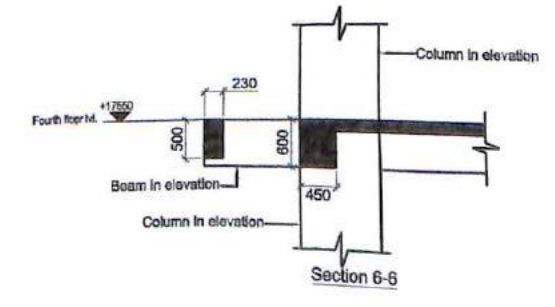
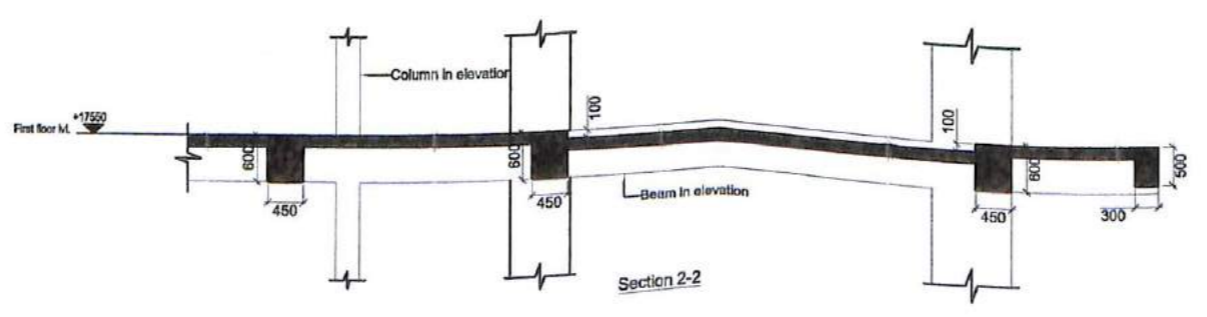
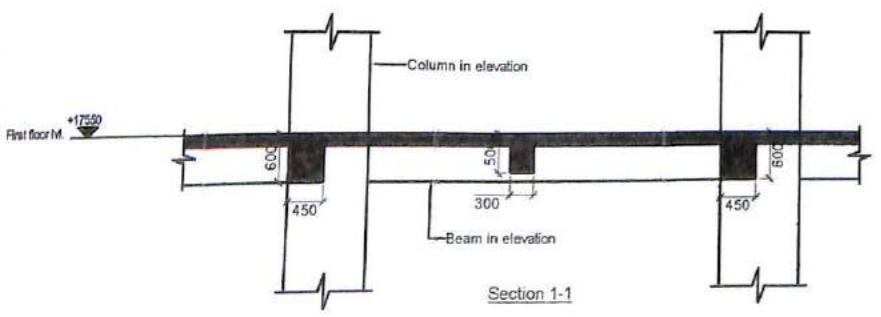
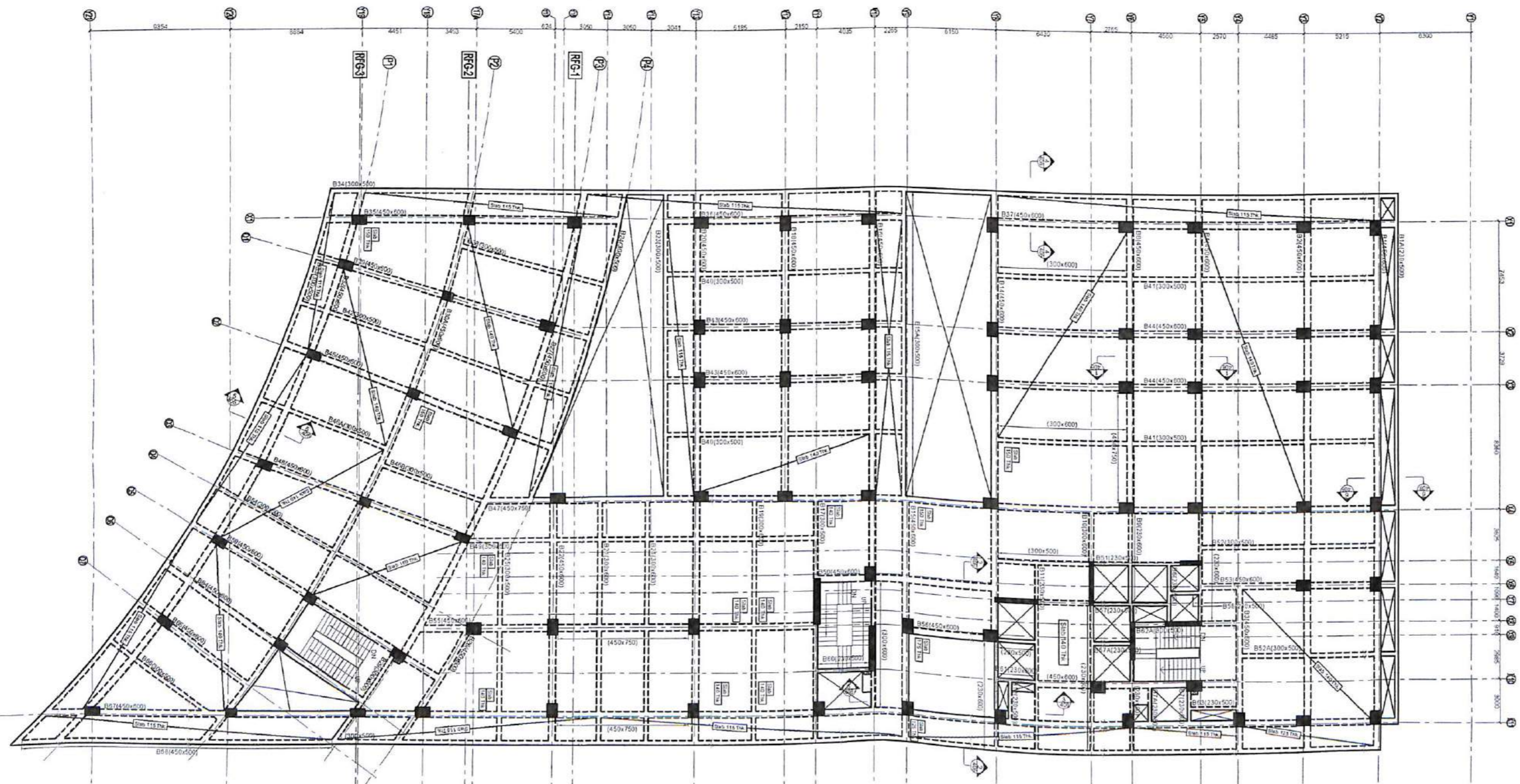
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DATE  
March, 2010

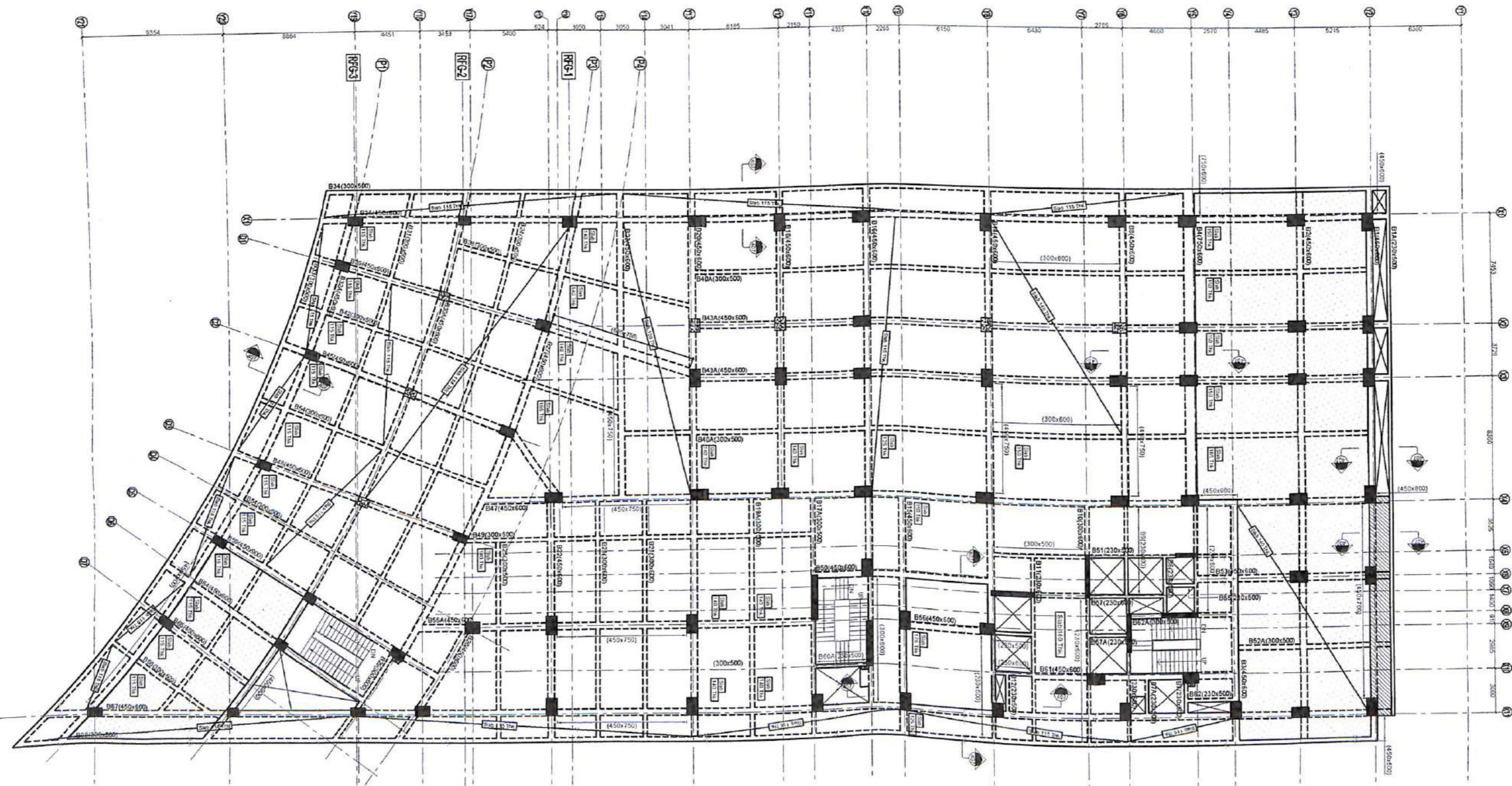
DRAWING NO.  
OB/S-406

REV. NO.  
R0

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For Pav Realty Limited  
Authorized Signatory



- Notes:-**
- All dimensions are in mm.
  - Do not scale any dimensions.
  - For layout of grid at site refer relevant arch. drawing.
  - This drawing shall be read in conjunction with relevant arch. services dwg. Any discrepancy found there in shall be brought to the notice of consultant/Architect.
  - Concrete grade shall be M25.
  - For general details refer dwg. No. OB/S-100.
  - For beam details refer Dwg. No. OB/S-451 onwards.
  - For slab reinforcement details refer OB/S-407A.
  - For stair case details refer separate dwg.
  - For exact layout of cutouts & sleeves refer arch. services dwg.
  - Wherever not shown, beams layout shall be placed symmetrically w.r.t. grid line / column face.
  - All beam column and beam-slab junctions shall be cast using conc. grade of highest of beam column & beam-slab respectively.

- Legend:-**
- Slab sunk by 100
  - Slab sunk by 300
  - Column goes up
  - Column terminates at this M.
  - Slab sunk by 100

RE	27.09.10	GOOD FOR CONSTRUCTION
A1	04.12.09	FOR APPROVAL
A0	17.11.09	FOR CO-ORDINATION
NO	DATE	REVISION

PROJECT  
**ORBIT PLAZA**  
 CROSSING REPUBLIK  
 NH-24

CLIENT

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 manishconsultants@airtelmail.in  
 www.manishconsultants.com

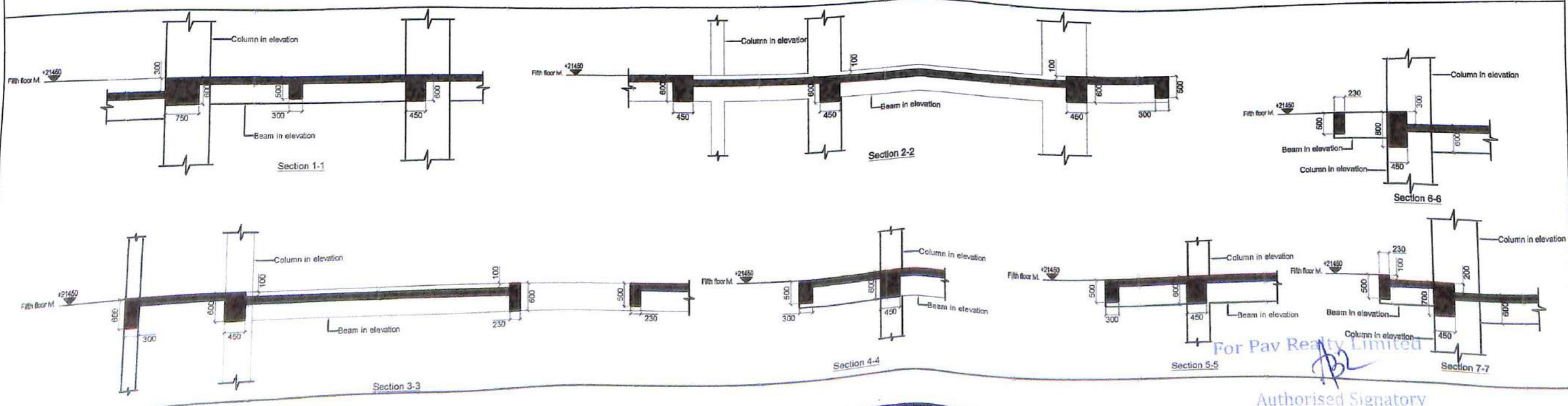
TITLE  
**Framing plan at fifth floor lvl.**

SCALE  
 1:125

DATE  
 March, 2010

DRAWING NO.  
 OB/S-407

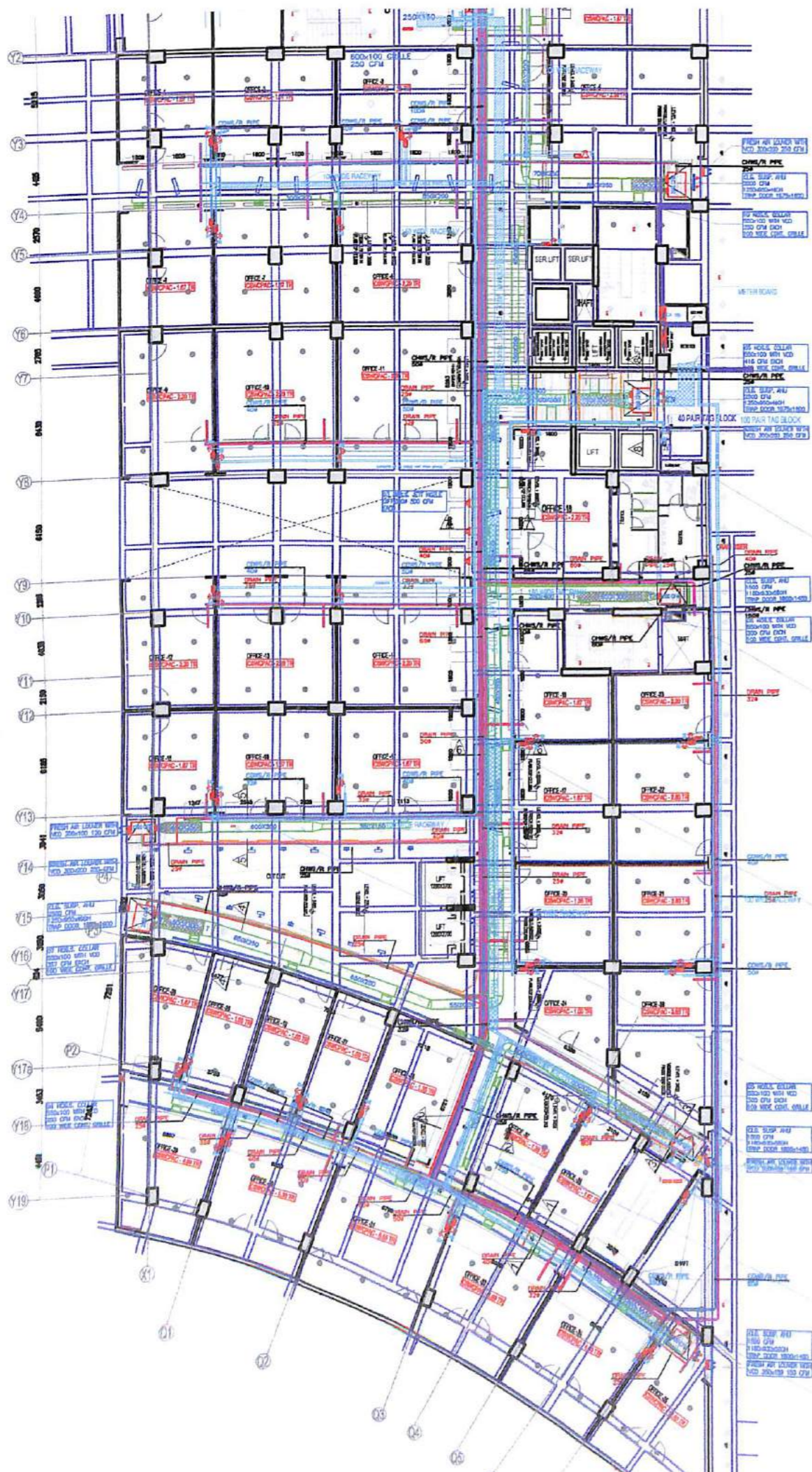
REV NO.  
 RO



For Pav Realty Limited

Authorized Signatory

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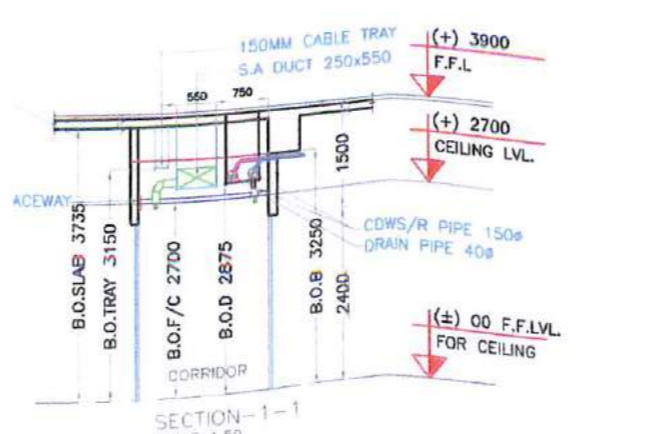
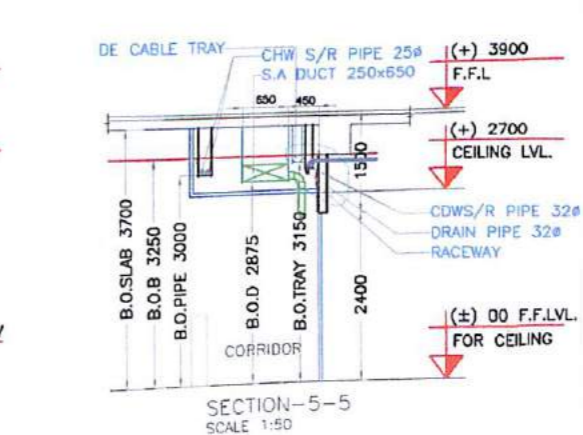
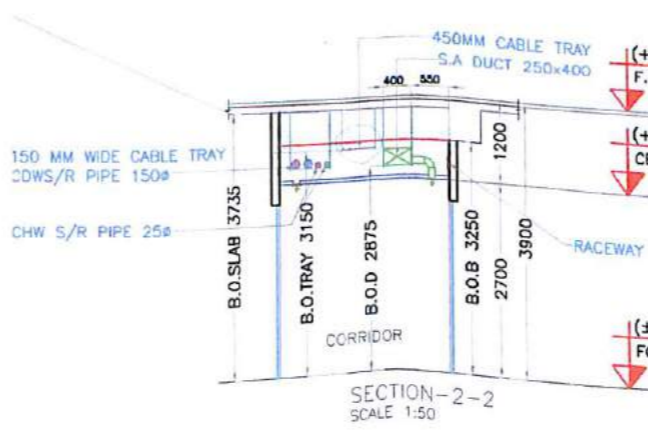
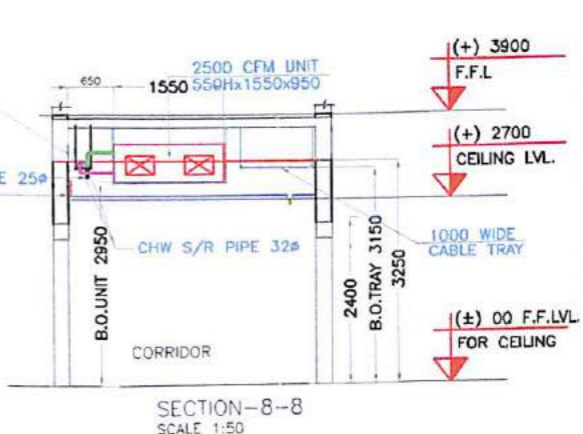
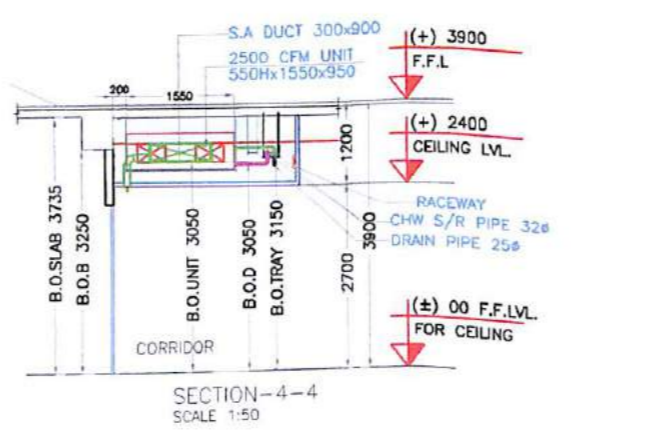
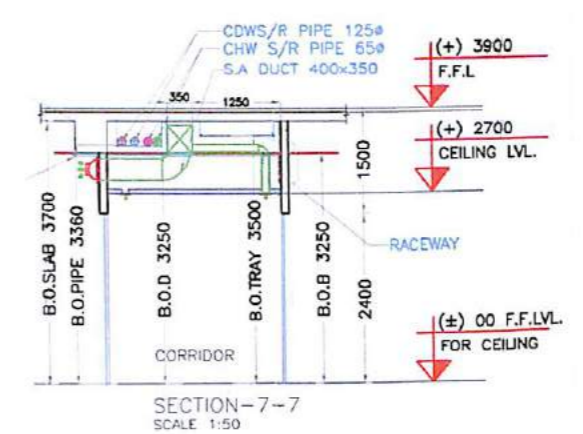
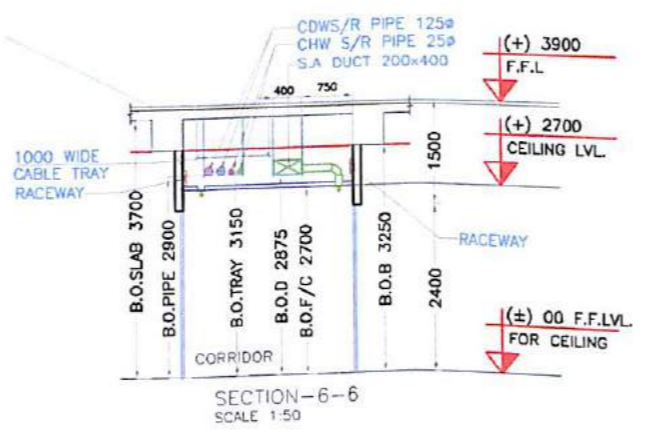


CHILLED WATER UNIT						
S.NO	CFM	TR	CHW PIPES SIZE	QTY.ON FLOOR	LHS	RHS
1.	3000	9.0	400	01	01	---
2.	2500	3.0	250	05	03	02
3.	1500	3.0	250	03	---	03
4.	1200	3.0	250	01	01	---

CONDENSATE PIPE CONNECTION SIZES						
TAG NO.	TR	USGPM	COND PIPES SIZE	QTY.ON FLOOR	LHS	RHS
1.	1.08	1.35	3.00	250	11	05
2.	1.07	1.07	3.00	250	13	09
3.	2.20	2.20	7.00	320	12	07
4.	3.35	3.35	10.00	320	---	---
5.	3.95	3.95	12.00	400	01	---
6.	4.90	4.90	15.00	400	03	01
7.	5.35	5.35	16.00	400	01	---
8.	6.25	6.25	20.00	500	01	---
9.	8.15	8.15	25.00	500	---	---
10.	10.4	10.4	32.00	500	01	---
11.	12.60	12.60	38.00	650	---	---

- NOTES**
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  - WHENEVER ACOUSTIC INSULATION IS SHOWN, DUCT SIZES SHALL BE INCREASED TO ACCOMMODATE THE ACOUSTIC INSULATION THICKNESS.
  - ALL ROOFS EXPOSED TO SUN SHALL BE INSULATED WITH APPROPRIATE INSULATION MATERIAL OF APPROPRIATE THICKNESS.
  - ACCESS PANELS SHALL BE PROVIDED IN F/CEILING NEAR EACH VCD/7D/SPLITTER FOR MAINTENANCE. FALSE CEILING IN TOILET FOR MAINTENANCE. FALSE CEILING IN TOILET AREA SHALL BE AIR TIGHT.
  - ALL AIR CONDITIONING DUCTS SHALL BE INSULATED WITH INSULATION MATERIAL OF THICKNESS & FINISH AS PER SPECIFICATIONS.
  - 16 AMP. PLUG & SOCKET SHALL BE PROVIDED BY OTHERS WITH IN 3 MET OF EACH FLOOR. 1# FAN, INDOOR UNIT OF SPLIT AC UNIT/ VRF SYSTEM.
  - ROOF OF FOOD COURT SHALL BE MADE OF MATERIAL WITH (MAX.) ABSORB.=40% (MAX.), REF.L.=33% (MIN.) ABSORB.=40% (MAX.), REF.L.=33% (MIN.) & K=2.45 W/SQM K (MAX.).
  - ALL AHU/AR WASHER/FAN ROOMS SHALL HAVE DOORS OPENING OUTWARDS.
  - ALL WALLS AND ROOFS OF AUDITORIUMS SHALL BE INSULATED WITH MINIMUM 50 MM THICK FIBRE GLASS OR EQUAL INSULATION MATERIAL.
  - ALL DUCTS FOR AUDITORIUM SHALL BE ACOUSTICALLY INSULATED FROM INSIDE WITH 50 MM FIBRE GLASS AS PER SPECIFICATIONS.

- LEGENDS**
- VOLUME CONTROL DAMPER
  - MOTORIZED VCD.
  - FIRE DAMPER
  - GRAVITY/NON RTM. DAMPER
  - 25MM THK ACSTC. INSLN.
  - 50MM THK ACSTC. INSLN.
  - FLOOR DRAIN
  - CHILLED WATER SUPPLY PIPE
  - CHILLED WATER RETURN PIPE
  - CONDENSER WATER RETURN PIPE
  - CONDENSER WATER SUPPLY PIPE
  - DRAIN PIPE
  - CONDENSER UNIT
  - TRAP DOOR
  - SUPPLY AIR DUCT



REMARKS	REV.NO.	DATE	CHKD.
REVISIONS			

CLIENT:- PAV REALTY PVT. LTD.

ARCHITECTS:- GIAN P. MATHUR & ASSOCIATES PVT. LTD.  
ARCHITECTS, ENGINEERS & PROJECT MANAGERS  
C-55, EAST OF KALASH, NEW DELHI -110065  
PH: 011-46599599 FAX: 011-46599512

HVAC CONSULTANTS:- ARMSTRONG ENGINEERING SERVICES  
B-59 SURYA NAGAR, GHAZIABAD, UP  
PH: 09811397123 TEL.FAX: 0120-2640223  
email:- akhatri16@yahoo.co.in, akhatri15@aify.com

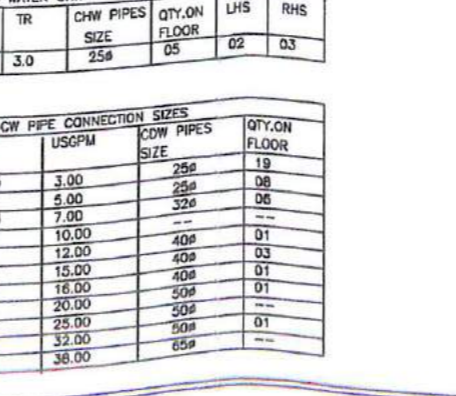
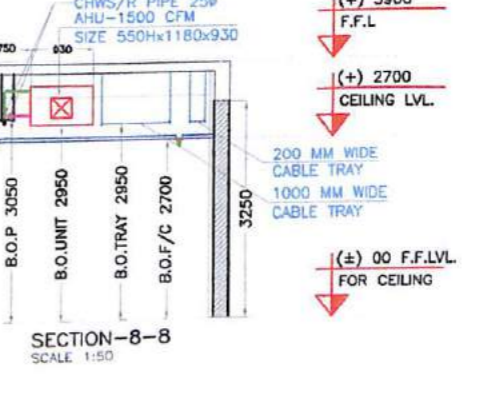
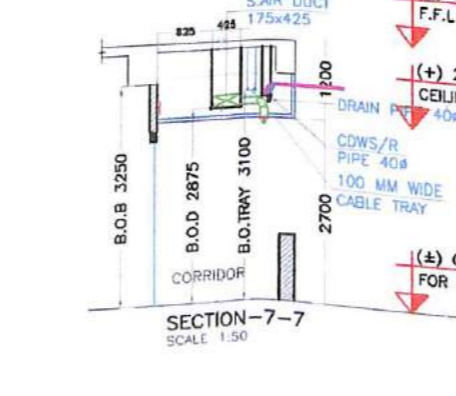
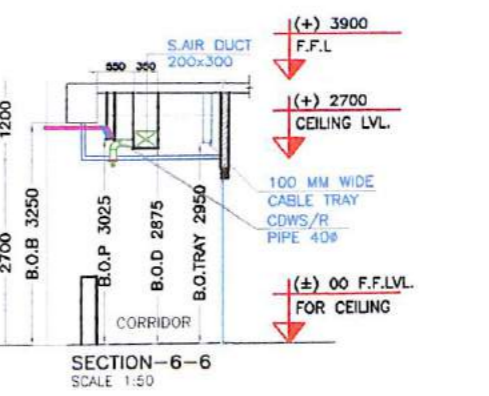
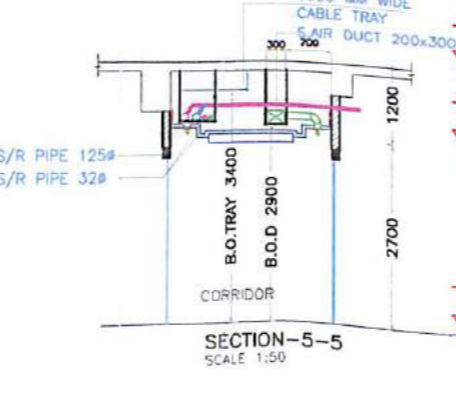
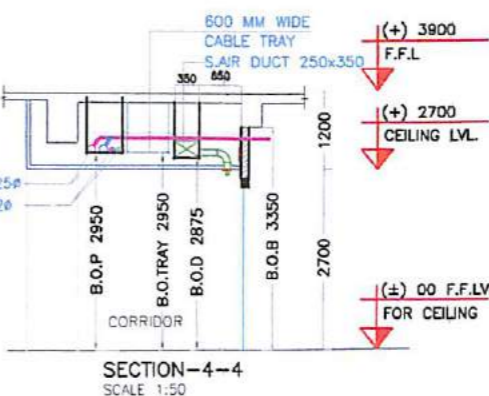
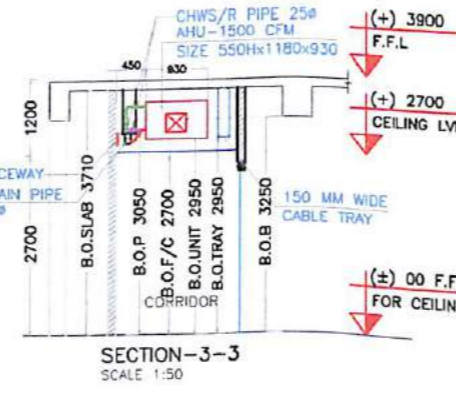
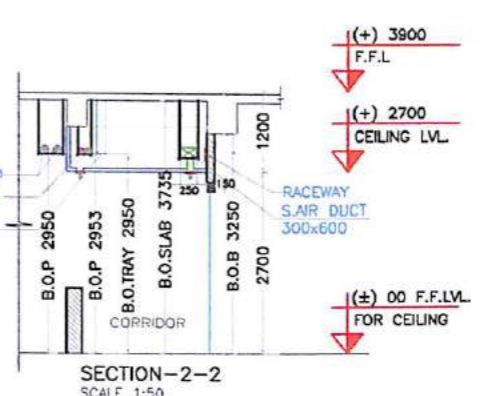
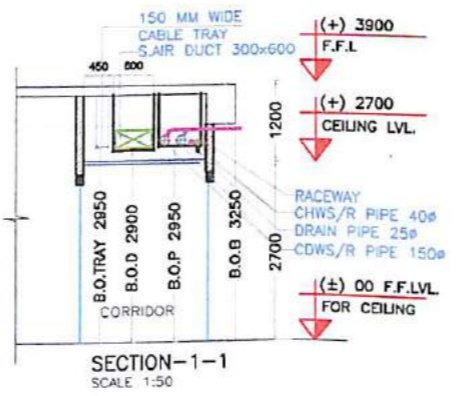
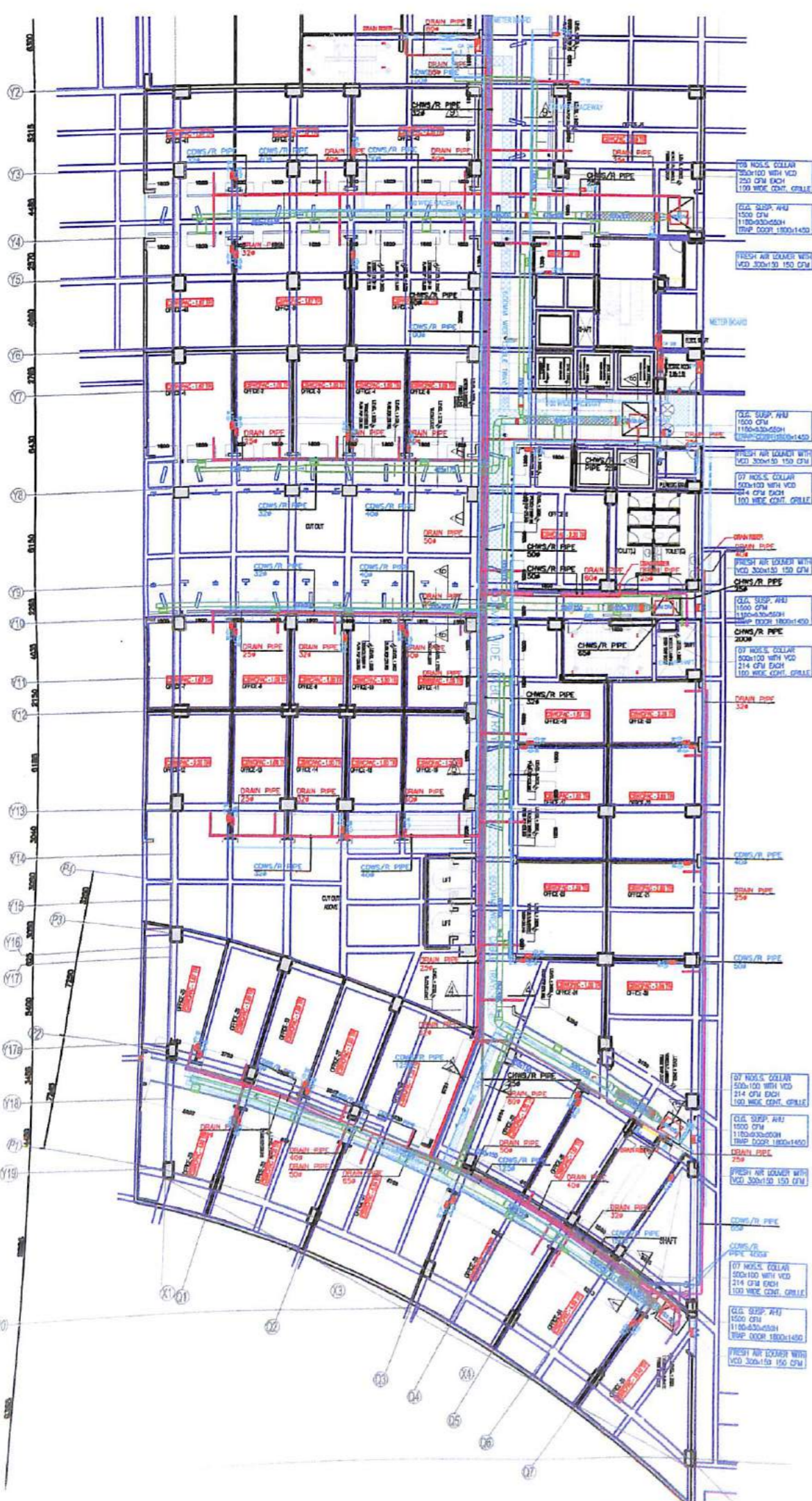
PROJECT:- ORBIT PLAZA CROSSINGS REPUBLIK  
AT VILLAGE DUNDAHIERA, GHAZIABAD, NH-24

TITLE:- HVAC SYSTEM LAYOUT SECOND FLOOR PLAN

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Checked	RAMR	Date	25.05.12	HVAC-04	0	SHEET
Appd	*****	O.D.No.	*****			
Save As	D:\RAW\ORBIT\ROOTS\HVAC-04 Drawing Size A1 1,1					

ENVIRO ROOTS DEVICES PVT.LTD.  
B-53, HOSIERY COMPLEX  
INDIA PHASE-4 (TEL:-01204338100)  
E mail :- enviro@orbitplaza.com

For Pav Realty Limited  
Authorized Signatory



- NOTES**
1. ALL DIMENSIONS ARE IN MM UNLESS SPECIFIED.
  2. ALL SUPPORTS SHALL BE SUITABLY DESIGNED FOR ITS DUTY CONDITIONS.
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  8. 15 AMP, PLUG & SOCKET SHALL BE PROVIDED BY OTHERS WITH IN 3 MET OF EACH F.C.L. 16 FAH, INDOOR UNIT OF SPLIT AC UNIT/ VRY SYSTEM.
  9. ROOF OF FOOD COURT SHALL BE MADE OF MATERIAL WITH (MAX). ABSORB.=40% (MAX.), REFL.=33% (MIN.) ABSORB.=40% (MAX.), REFL.=33% (MIN.) & K=2.45 W/SQ.M K (MAX.)
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  - FIRE DAMPER
  - GRAVITY/NON RTN. DAMPER
  - 25MM THK ACSTC. INSLN.
  - 50MM THK ACSTC. INSLN.
  - FLOOR DRAIN
  - CHILLED WATER SUPPLY PIPE
  - CHILLED WATER RETURN PIPE
  - CONDENSER WATER RETURN PIPE
  - CONDENSER WATER SUPPLY PIPE
  - DRAIN PIPE
  - CONDENSER UNIT
  - TRAP DOOR
  - SUPPLY AIR DUCT

REVISIONS

REV. NO.	DATE	CHG.

CLIENT:- PAV REALITY PVT. LTD.

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ARCHITECTS, ENGINEERS & PROJECT MANAGERS  
C-55, EAST OF KAILASH, NEW DELHI - 110065  
PH: 011- 46598599 FAX : 011-46598512

HVAC CONSULTANTS:- ARMSTRONG ENGINEERING SERVICES

B-59 SURYA NAGAR, GHAZIABAD, UP  
PH: 09811397123 TEL.FAX : 0120-2640223  
email:- akhatri16@yahoo.co.in, akhatri16@ally.com

PROJECT:- ORBIT PLAZA CROSSINGS REPUBLIK  
AT VILLAGE DUNDAHERA, GHAZIABAD, NH-24

TITLE:- HVAC SYSTEM LAYOUT THIRD FLOOR PLAN PHASE - I

Drawn	Scale	Drawing No.	Rev
RAVI	1:150		

Checked	Date	HVAC	0	SHEET
RAVIR	04.08.12	HVAC -05	0	

Save As: \\BAV\ORBIT\ROOTS\HVAC-05 Drawing.dwg

ENVIRO ROOTS DEVICES PVT.LTD.  
B-55, HSBERRY COMPLEX  
RODA PHASE-II (TOL-012040381100)  
E mail : enviro@rootsdevices.com

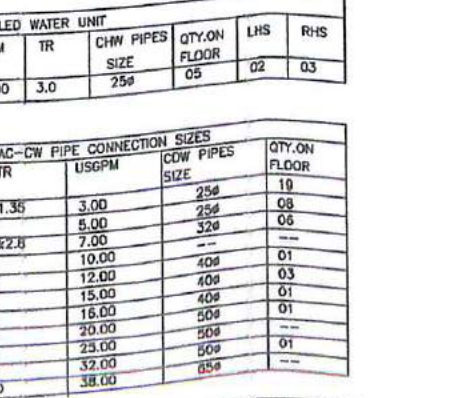
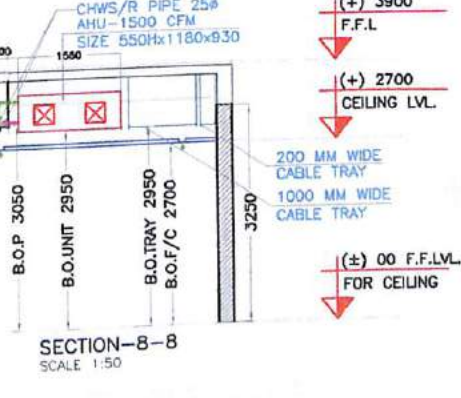
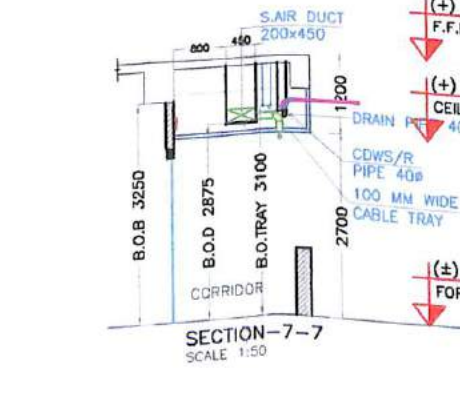
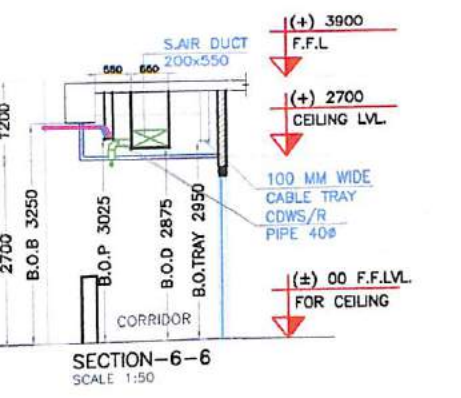
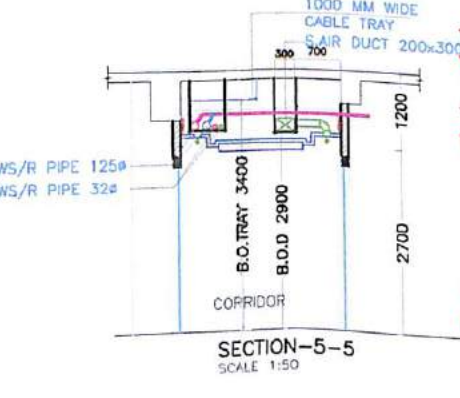
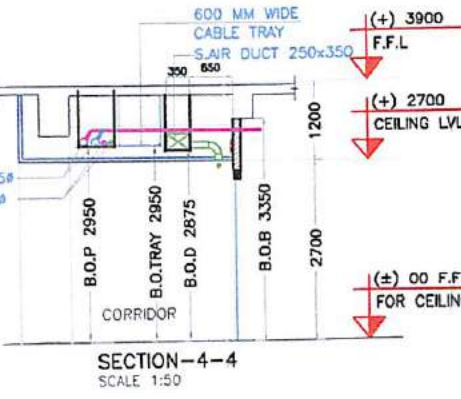
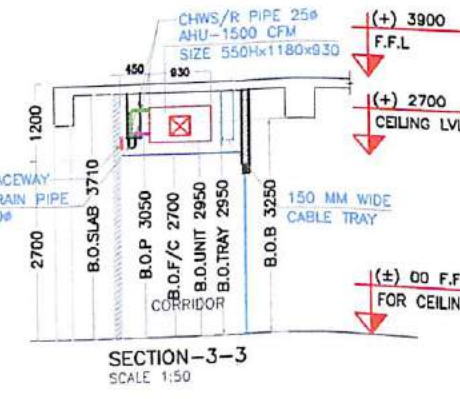
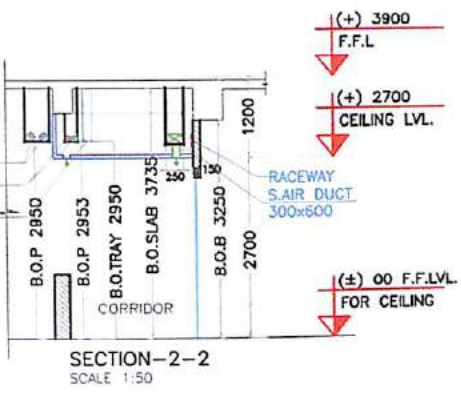
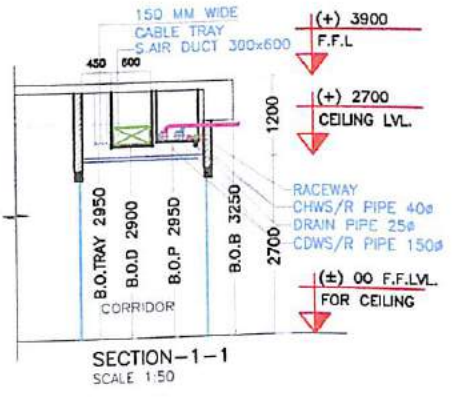
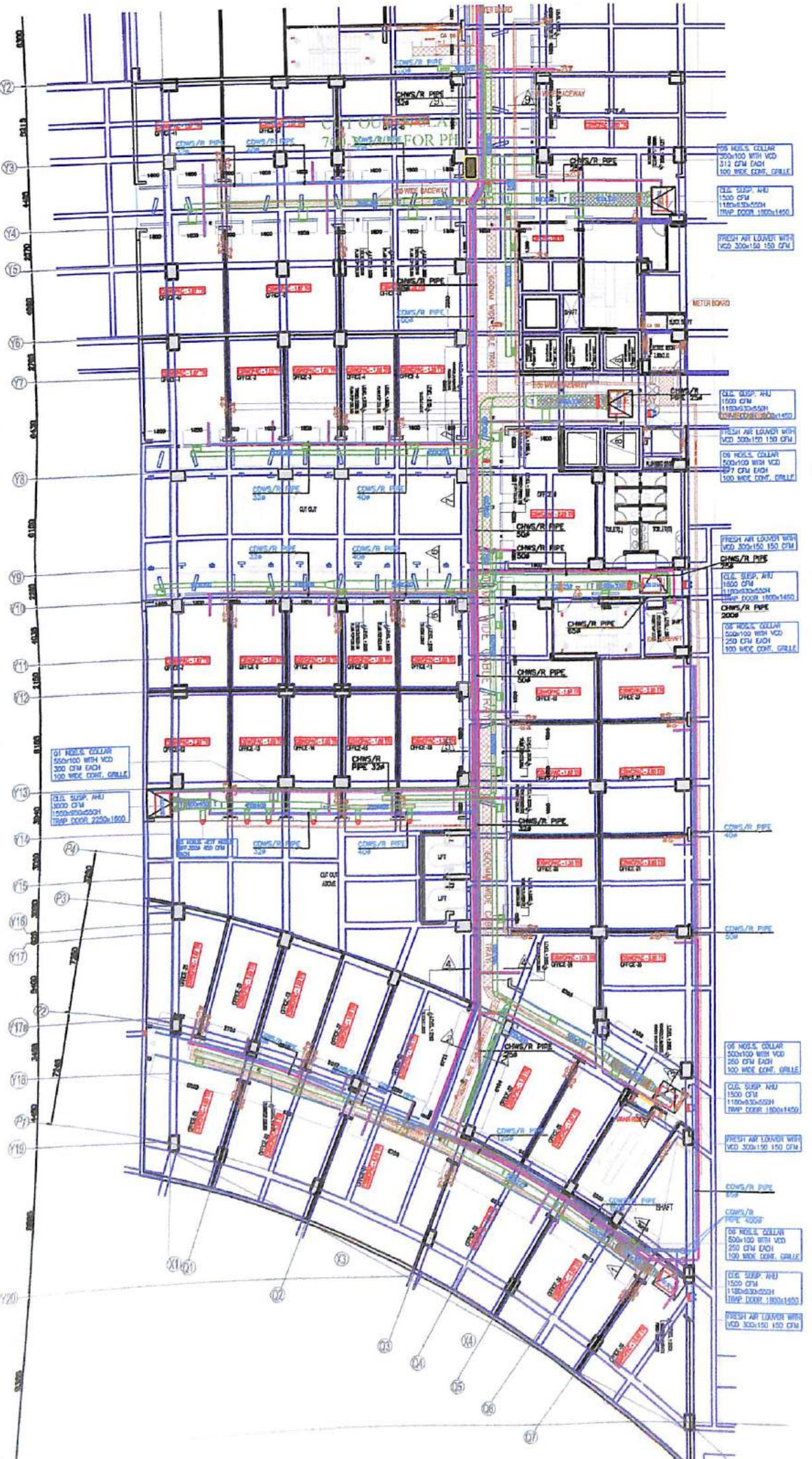
**CHILLED WATER UNIT**

S.NO	CFM	TR	CHW PIPES SIZE	QTY.ON FLOOR	LHS	RHS
1.	1500	3.0	25ø	05	02	03

**CSWPCAP-CW PIPE CONNECTION SIZES**

TAG NO.	TR	USGPM	CHW PIPES SIZE	QTY.ON FLOOR
1.	1.0&1.35	3.00	25ø	19
2.	1.67	5.00	25ø	08
3.	2.20&2.8	7.00	32ø	06
4.	3.35	10.00	40ø	01
5.	3.95	12.00	40ø	03
6.	4.90	15.00	40ø	01
7.	5.35	16.00	50ø	01
8.	6.55	20.00	50ø	---
9.	8.15	25.00	50ø	01
10.	10.4	32.00	65ø	---
11.	12.60	36.00	---	---

For Pav Realty Limited  
Authorized Signatory



CHILLED WATER UNIT						
S.NO	CFM	TR	CHW PIPES SIZE	QTY.ON FLOOR	LHS	RHS
1.	1500	3.0	25#	05	02	03

CSWPCD-CW PIPE CONNECTION SIZES				
TAG NO.	TR	USGPM	CHW PIPES SIZE	QTY.ON FLOOR
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2.	1.67	5.00	25#	08
3.	2.20&2.8	7.00	32#	06
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5.	3.95	12.00	40#	03
6.	4.50	15.00	40#	01
7.	5.35	16.00	50#	01
8.	6.55	20.00	50#	01
9.	8.15	25.00	50#	01
10.	10.4	32.00	65#	01
11.	12.60	38.00	85#	01

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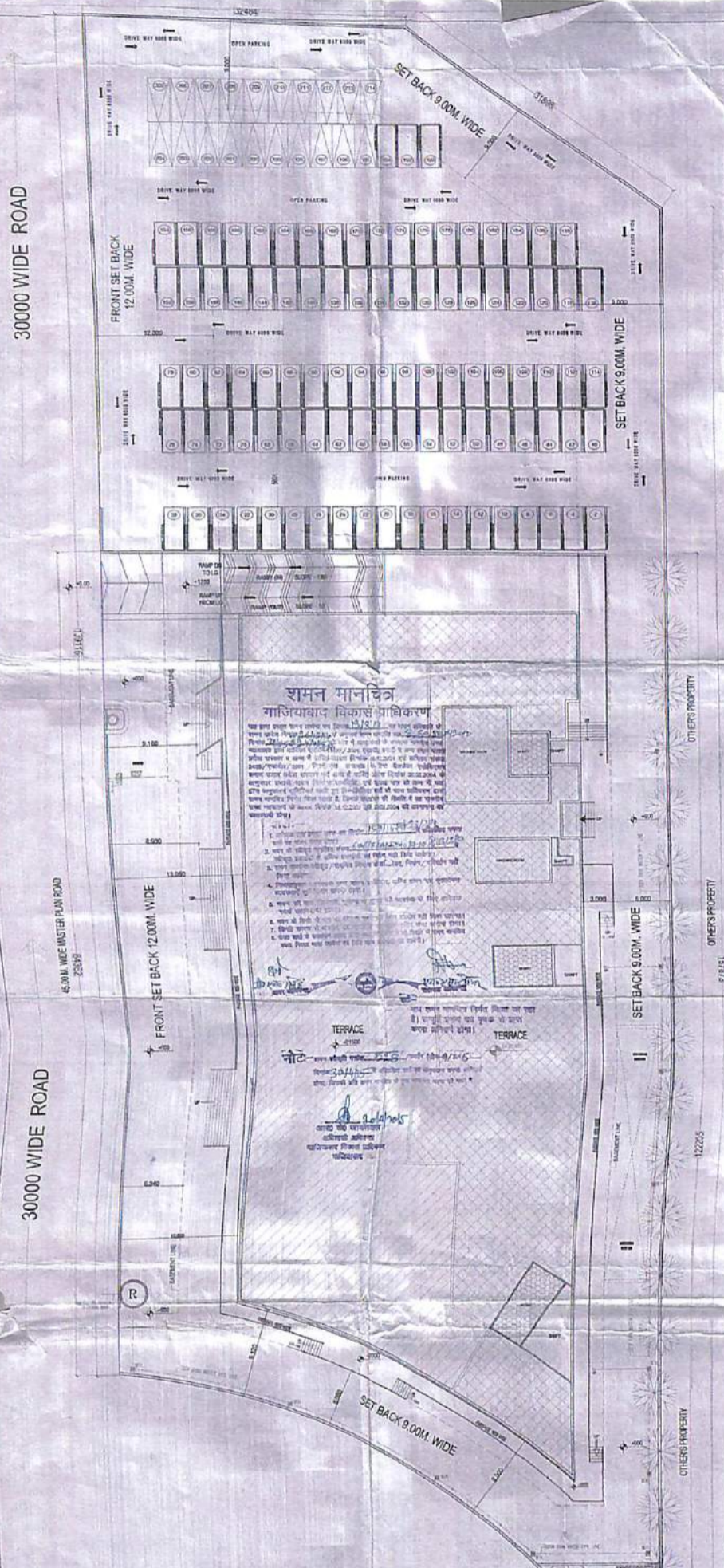
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  - DRAIN PIPE
  - CONDENSER UNIT
  - TRAP DOOR
  - SUPPLY AIR DUCT

NOTE: PLEASE LEAVE THE SPACE FOR PH CUT OUT SIZE 700X1300 NEAR THE COLUMN (GRID Y-3.X-4)



REVISIONS	REVISED DATE	CHG.
CLIENT:-	PAV REALTY PVT. LTD.	
ARCHITECTS:-	GIAN P. MATHUR & ASSOCIATES PVT. LTD. ARCHITECTS, ENGINEERS & PROJECT MANAGERS C-55, EAST OF KAILASH, NEW DELHI - 110065 PH: 011- 46599599 FAX : 011-46599512	
HVAC CONSULTANTS:-	ARMSTRONG ENGINEERING SERVICES B-59 SURIYA NAGAR, GHAZIABAD, UP PH: 09811397123 TEL.FAX : 0120-2640223 email:- skhatr15@yahoo.co.in, skhatr15@aify.com	
PROJECT:-	ORBIT PLAZA CROSSINGS REPUBLIK AT VILLAGE DUNDAHERA, GHAZIABAD, NH-24	
TITLE:-	HVAC SYSTEM LAYOUT FOURTH FLOOR PLAN PHASE - I	
Drawn	RAH	Scale 1:150
Checked	RAH/R	Date 04.05.12
Appd	C.O.No.	HVAC-06
Shw Au	DR/RAH/GRBT/ROOTS/HVAC-06	Drawing Size A1
ENVIRO ROOTS DEVICES PVT LTD. B-53, HIGHERY COMPLEX, NOKIA PARK-3 (DEL.-0120439100) E mail : enviro@rootsdev.com		

For Pav Realty Limited  
Authorised Signatory



**SANCTION AREA CALCULATIONS**

PERMISSIBLE AREA CALCULATIONS

S.NO.	Description	sq.mt
1	Plot Area	8299.155
2	Perm. F.A.R. @ 2.50 (WITH C.D.C.)	20747.887
3	Perm. Ground Coverage @ 50%	4149.58
4	Ground Coverage Achieved (22.22%)	1844.43
5	F.A.R. Achieved	7683.77

S.NO. FLOOR F.A.R.

1	Lower Basement (NON FAR)	2099.29
2	Middle Basement (NON FAR)	2099.29
3	Upper Basement (NON FAR)	2099.29
4	Ground Floor (Shops)	1844.43
5	First Floor (Hotel Lobby)	1026.36
6	Second Floor (Shops)	416.31
7	Third Floor (Shops)	416.31
8	Fourth Floor (Shops)	399.56
9	Fifth Floor (Hotel Room)	895.20
10	Sixth Floor (Hotel Room)	895.20
11	Seventh Floor (Hotel Room)	895.20
12	Eighth Floor (Hotel Room)	895.20
13	Total	13981.64
14	Total of Shop Area F.A.R. (4+6+7+8)	3076.61
15	Total of Hotel Lobby Floor Area F.A.R. (5)	1026.36
16	Total of Hotel Room Area F.A.R. (9+10+11+12)	3580.8
17	Total F.A.R. area	7683.77

**REVISED COMPOUNDING AREA STATEMENT (EXISTING)**

TOTAL PLOT AREA	= 8299.155 SQM.
PER GROUND COVERAGE 40% OF TOTAL PLOT AREA	= 3319.662 SQM.
PER F.A.R. @ 1.75 OF TOTAL PLOT AREA	= 14523.52 SQM.
PURCHASABLE FAR @ 50% OF 1.75	= 7261.76 SQM.
TOTAL FAR @ 2.625	= 21785.28 SQM.
F.A.R. @ 1.039 OF TOTAL PLOT AREA	= 13603.006 SQM.
ALL READY COMPOUNDED	
EXISTING F.A.R. @ 2.164 OF TOTAL PLOT AREA	17951.97 SQM.

S. NO.	FLOORS	TOTAL COVER AREA
01	SECOND BASEMENT FLOOR (NON F.A.R.)	3543.727 SQM.
02	FIRST BASEMENT FLOOR (NON F.A.R.)	3543.727 SQM.
	TOTAL NON F.A.R.	7087.454 SQM.
03	ACHIEVED GROUND COVERAGE (23.41%)	2773.087 SQM.
04	FIRST BASEMENT / LOWER GROUND FLOOR	2434.68 SQM.
05	UPPER GROUND FLOOR	2721.54 SQM.
06	FIRST FLOOR	2818.17 SQM.
07	SECOND FLOOR	2736.22 SQM.
08	THIRD FLOOR	2618.02 SQM.
09	FOURTH FLOOR	2099.27 SQM.
10	FIFTH FLOOR	1400.42 SQM.
	TOTAL AREA (F.A.R.)	17951.97 SQM.
11	MURTY (NON F.A.R.)	88.50 SQM.
12	MACHINE ROOM (NON F.A.R.)	116.25 SQM.
13	FIRE STAIR CASE (ON ALL FLOOR)	339.64 SQM.
	TOTAL NON F.A.R. AREA (1+2+11+12+13)	5194.17 SQM.
	TOTAL BUILT UP AREA (F.A.R. + NON F.A.R.)	23146.147 SQM.

**PARKING CALCULATION:-**

**REQUIRED:-**

TOTAL COMMERCIAL AREA (LOWER OR UPPER GR. + FIRST + FIFTH FLOOR) = 9378.48 SQ.MT.	
TOTAL ECS REQUIREMENT @ 3 ECS/100 SQ.M. = 9378.48/33	= 281
TOTAL OFFICE AREA (SECOND + THIRD + FOURTH) = 7052.45 SQ.MT.	
TOTAL ECS REQUIREMENT @ 2 ECS/100 SQ.M. = 7052.45/22	= 317
<b>TOTAL REQUIRED (COMMERCIAL + OFFICE) = 281 + 317</b>	<b>= 598 ECS</b>

**PROVIDED:-**

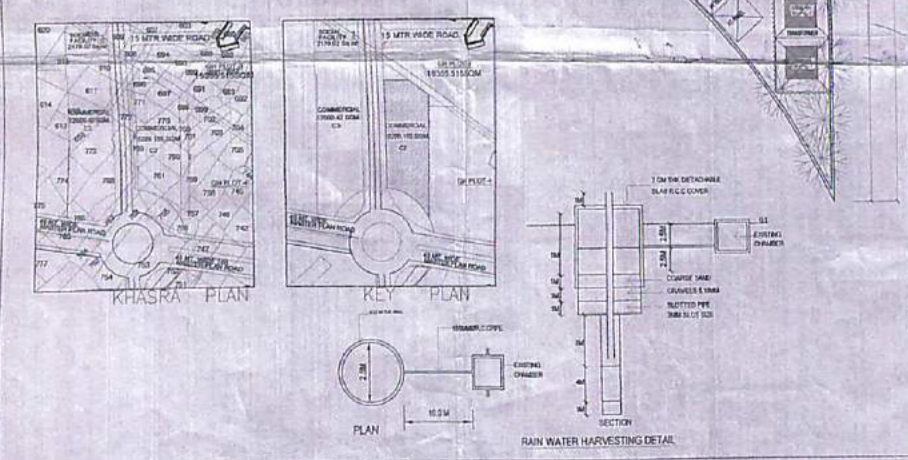
TOTAL PROVIDED = 454 ECS

**PROVIDED:-**

SECOND BASEMENT PARKING	= 193 CARS (MECHANICAL PARKING)
FIRST BASEMENT (LOWER GROUND)	= 03 CARS (NON MECHANICAL PARKING)
	= 38 CARS (MECHANICAL PARKING)
	= 02 CARS (NON MECHANICAL PARKING)
TERACE PARKING	= 134 CARS (MECHANICAL PARKING)
	= 25 CARS (NON MECHANICAL PARKING)
<b>TOTAL CAR PARKING = 1194+35+194+20</b>	<b>= 454 CARS</b>

**TREES CALCULATION**

S.NO.	DESCRIPTION	Nos.
1.	No. of Trees Required per 10000 Sqmt Open Space	50
2.	Open Area	6452.22
3.	No. of Trees Required = 50X0.6454725 = 32.27	32 (say)
4.	No. of Trees Provided	32



For City: *Delhi*

PROJECT: CROSSING INFRASTRUCTURE THROUGH MR. ASHOK GUPTA

PROJECT: COMPOUNDING DRAWING FOR THE EXISTING COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHERA

DATE: 15/05/2024

SCALE: 1:500

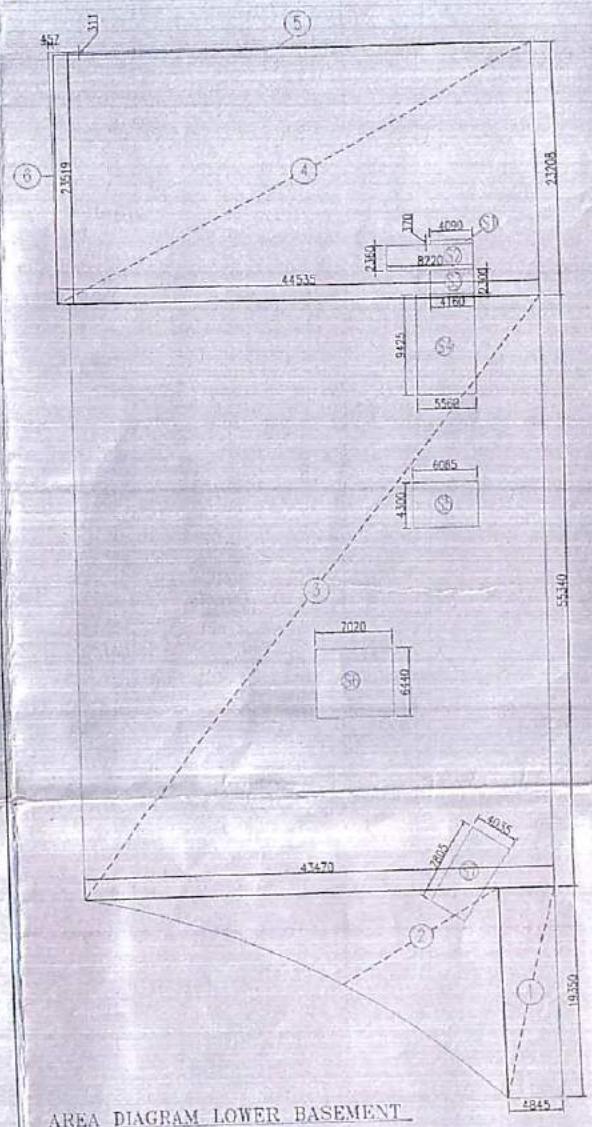
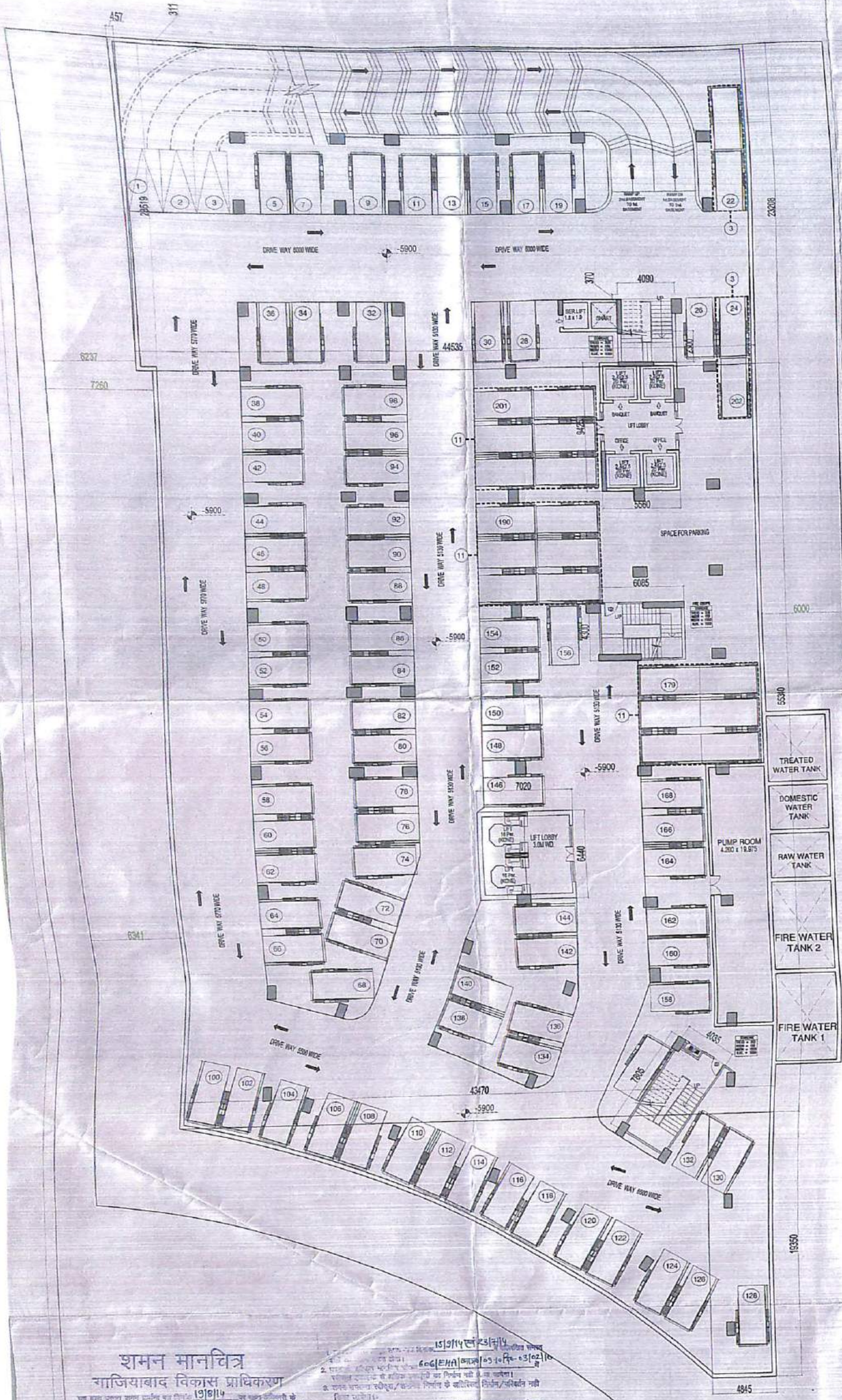
DATE: 15/05/2024

SCALE: 1:500

DATE: 15/05/2024

SCALE: 1:500

For Pav Realty Limited  
 Authorised Signatory



AREA DIAGRAM LOWER BASEMENT

TOTAL AREA AT LOWER BASEMENT = 3829.546 SQM.

1)	= 4.046 X 19,350	= 93.770 SQM.
2)	= AS PER COMP.	= 204.200 SQM.
3)	= 43.470 X 55.340	= 2405.629 SQM.
4)	= 44.535 X 23.208	= 1033.568 SQM.
5)	= (44.535 X 0.311) / 2	= 6.925 SQM.
6)	= (23.519 X 0.457) / 2	= 5.374 SQM.
<b>TOTAL COVD. AREA</b>		<b>= 3829.546 SQM.</b>

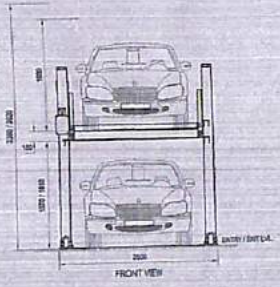
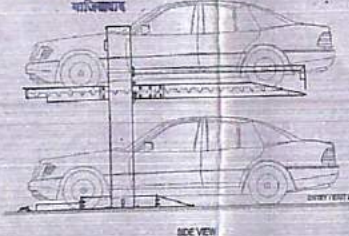
SERVICES AREA DETAIL:-

S1)	= 4.090 X 0.370	= 1.513 SQM.
S2)	= 8.220 X 2.360	= 19.399 SQM.
S3)	= 4.190 X 2.300	= 9.568 SQM.
S4)	= 5.500 X 9.425	= 52.403 SQM.
S5)	= 6.085 X 4.300	= 26.165 SQM.
S6)	= 7.020 X 6.410	= 45.208 SQM.
S7)	= 4.035 X 7.805	= 31.493 SQM.
<b>TOTAL</b>		<b>= 185.749 SQM.</b>

NET PARKING AREA = 3829.546 - 185.749 SQM.  
= 3643.797 SQM.

**शमन मानचित्र**  
राजिवाबाद विकास प्राधिकरण  
19/01/14

1. यह शमन मानचित्र राजिवाबाद विकास प्राधिकरण द्वारा तैयार किया गया है।  
2. इस मानचित्र में कुल क्षेत्रफल 2,50,00,00,000 वर्ग मीटर है।  
3. इस मानचित्र में कुल 10,00,00,00,000 वर्ग मीटर क्षेत्रफल को आवंटित किया गया है।  
4. इस मानचित्र में कुल 10,00,00,00,000 वर्ग मीटर क्षेत्रफल को आवंटित किया गया है।  
5. इस मानचित्र में कुल 10,00,00,00,000 वर्ग मीटर क्षेत्रफल को आवंटित किया गया है।  
6. इस मानचित्र में कुल 10,00,00,00,000 वर्ग मीटर क्षेत्रफल को आवंटित किया गया है।  
7. इस मानचित्र में कुल 10,00,00,00,000 वर्ग मीटर क्षेत्रफल को आवंटित किया गया है।  
8. इस मानचित्र में कुल 10,00,00,00,000 वर्ग मीटर क्षेत्रफल को आवंटित किया गया है।  
9. इस मानचित्र में कुल 10,00,00,00,000 वर्ग मीटर क्षेत्रफल को आवंटित किया गया है।  
10. इस मानचित्र में कुल 10,00,00,00,000 वर्ग मीटर क्षेत्रफल को आवंटित किया गया है।



For Pav Realty Limited

Authorised Signatory

For Crossings Infrastructure Pvt. Ltd  
GIAN P. MATHUR ARCHITECT  
B. Arch. CA No 805769  
ARCHITECT'S SIGNATURE

OWNER:- CROSSING INFRASTRUCTURE THROUGH MR. ASHOK GUPTA

PROJECT:- COMPOUNDING DRAWING FOR THE EXISTING COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHERA

UNIT:- SECOND BASEMENT PLAN

DATE: 20/11/15

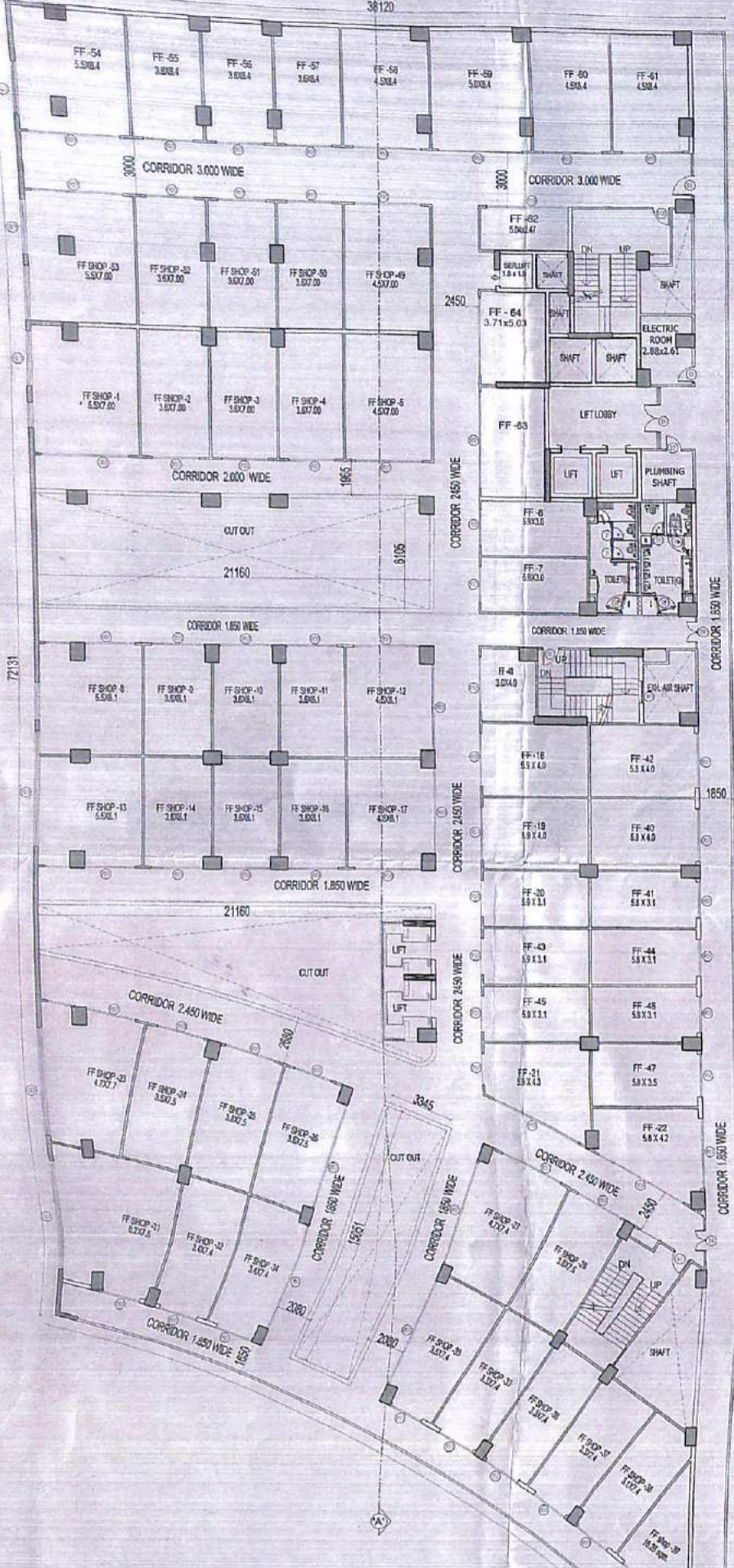
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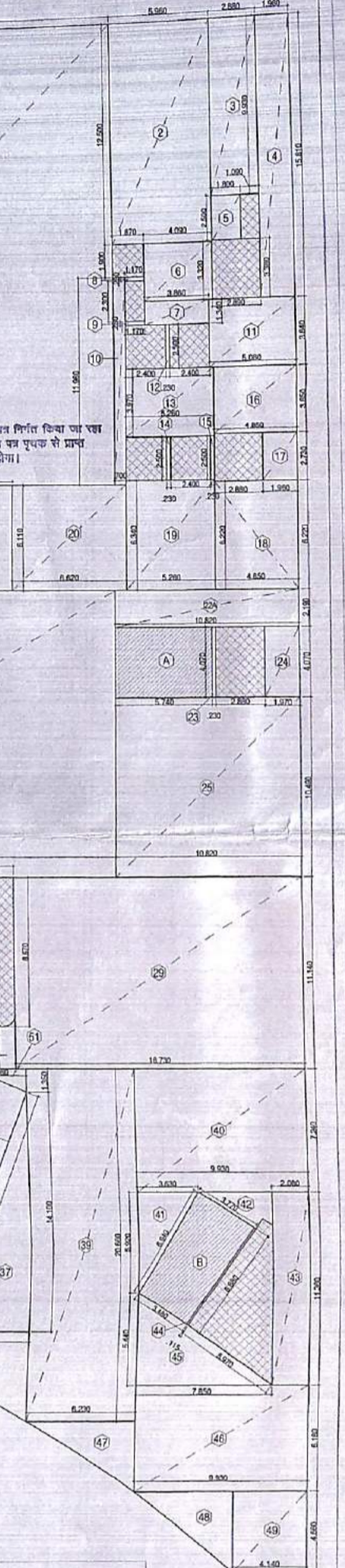






### शमन मानचित्र गाजियाबाद विकास प्राधिकरण

यह शमन मानचित्र गाजियाबाद विकास प्राधिकरण द्वारा तैयार किया गया है। इस मानचित्र में प्लॉट नंबर 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



AREA STATEMENT FOR FIRST FLOOR			
SR. NO.	LENGTH	WIDTH	AREA IN SQ.M.
1	27.310	26.360	719.892
2	5.960	12.500	74.500
3	2.880	9.930	28.598
4	1.960	15.810	30.988
5	1.800	2.500	4.500
6	4.090	3.320	13.579
7	3.860	1.340	5.172
8	1.170	0.230	0.269
9	1.170	0.230	0.269
10	0.700	11.960	8.372
11	5.080	3.840	19.507
12	0.230	2.500	0.575
13	5.260	3.970	20.882
14	0.230	2.500	0.575
15	0.230	2.500	0.575
16	4.850	3.850	18.673
17	1.960	2.730	5.351
18	4.850	6.220	30.167
19	5.260	6.340	33.348
20	6.620	6.110	40.448
21	0.230	6.110	1.405
22	27.300	16.760	457.548
22A	10.820	2.190	23.696
23	0.230	4.070	0.936
24	1.970	4.070	8.018
25	10.820	10.490	113.502
26	0.230	2.510	0.577
27	20.460	6.130	0.5
28	ASPERDWG		8.020
29	16.730	11.140	186.372
30	ASPERDWG		2.350

31	20.460	2.500		51.150
32	13.570	11.770		159.719
33	5.330	14.070	0.5	37.497
34	ASPERDWG			19.250
35	2.080	3.680		7.654
36	3.160	1.380	0.5	2.180
37	5.240	14.100	0.5	36.942
38	ASPERDWG			25.550
39	6.230	20.660		128.712
40	9.930	7.240		71.893
41	3.630	5.920	0.5	10.745
42	ASPERDWG			5.100
43	2.080	11.360		23.629
44	0.115	6.880		0.791
45	7.850	5.440	0.5	21.352
46	9.930	6.180		61.367
47	ASPERDWG			12.300
48	ASPERDWG			13.000
49	4.140	4.660		19.292
50	ASPERDWG			7.950
51	3.060	1.350	0.5	2.066
X1	21.160	6.110		129.29
X3	3.340	15.080		50.367
TOTAL F.A.R AREA =				2819.17
NON F.A.R AREA				
SR NO.	LENGTH	WIDTH	AREA IN SQ.M.	
A	5.740	4.070	23.362	
B	3.625	6.940	25.158	
TOTAL NON F.A.R AREA =				48.52
TOTAL BUILT-UP AREA =				2867.688

SCHEDULE OF OPENINGS				
TYPE	WIDTH	HEIGHT	SILL HT.	LINTEL
D01	750	2100	-	2100
D02	1000	2100	-	2100
D03	1200	2100	-	2100
D04	1500	2100	-	2100
D05	1500	2100	-	2100
W	3425	2470	900	3370
W1	1200	2470	900	3370
W2	2460	2700	670	3370
V	1190	2170	900	3370
GL/D	7475	2500	-	2500
GL1	11285	1870	1050	2920
RST	3000	2580	-	2500

For Crossings Infrastructure Pvt. Ltd.

*Arulm*  
Authorized Signatory

OWNER'S SIGN

GIAN P. MATHUR  
B.A., M.A., ARCHITECT  
REG. NO. 13376  
CROSSING INFRASTRUCTURE

ARCHITECT'S SIGN

PROJECT:  
COMPOUNDING DRAWING FOR THE EXISTING  
COMMERCIAL BLOCK AT PLOT NO. C-2,  
CROSSING REPUBLIC VILLAGE DUNDAHERA

DATE: 15/08/2024

SCALE: 1/150

106

For Pav Realty Limited  
*ABZ*  
Authorized Signatory





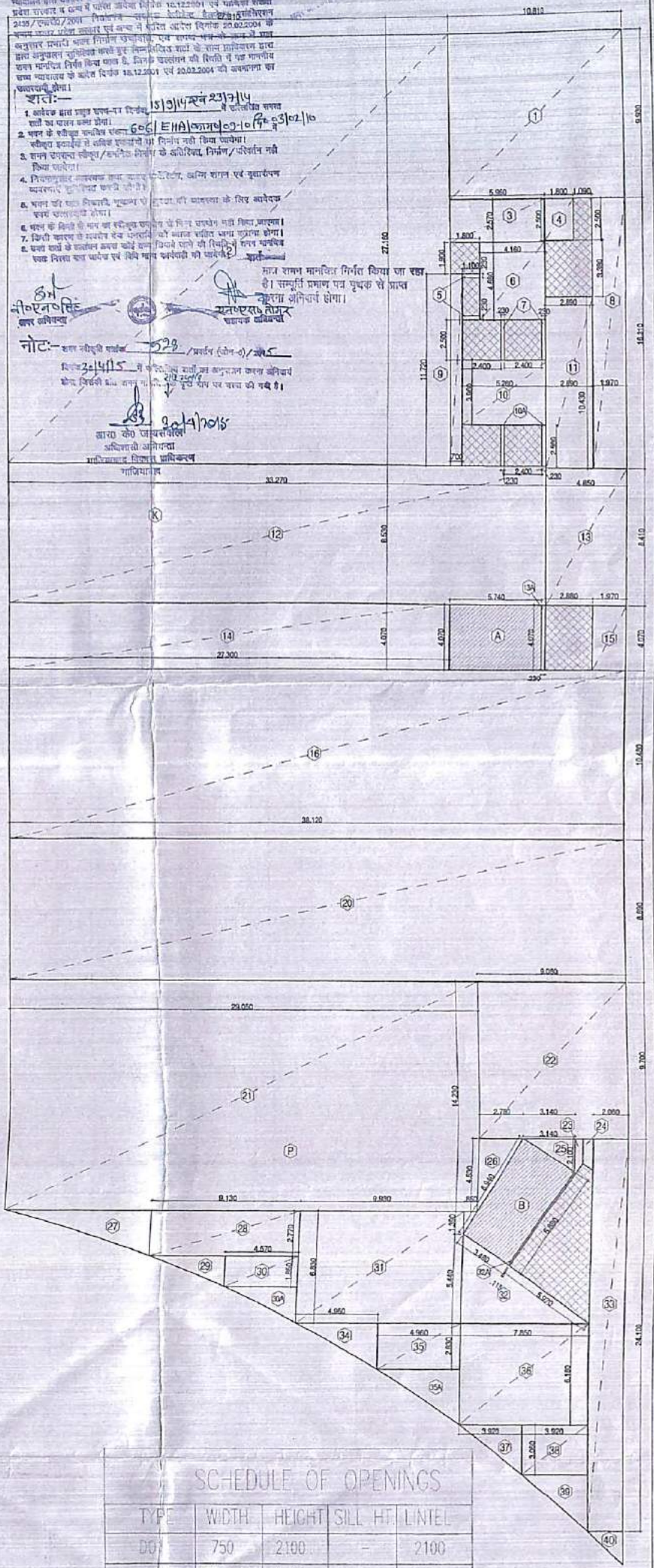
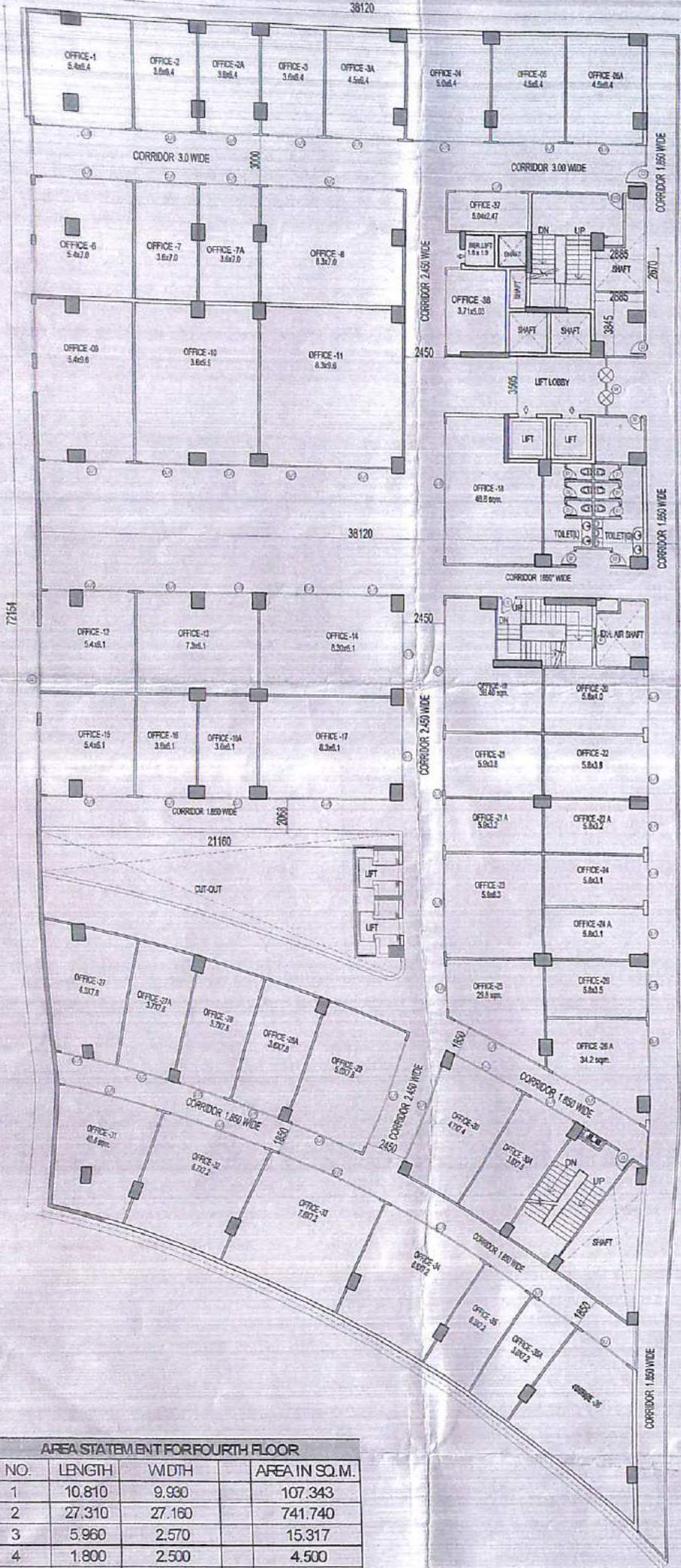
शमन मानचित्र  
गाजियाबाद विकास प्राधिकरण

14/9

प्लान नं. 2/14/15/23/2/14  
प्लान संख्या 2/14/15/23/2/14  
प्लान क्षेत्रफल 3017.794 sq.m.  
प्लान दिनांक 23/02/14

- शर्तः-
1. ब्लॉक का पूरा प्लान-नं. दिखाना है।
  2. ब्लॉक के चारों ओर 3.00 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  3. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  4. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  5. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  6. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  7. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  8. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  9. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  10. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  11. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  12. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  13. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  14. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  15. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  16. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  17. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  18. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  19. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  20. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  21. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  22. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  23. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  24. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  25. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  26. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  27. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  28. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  29. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  30. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  31. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  32. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  33. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  34. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  35. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  36. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  37. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  38. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  39. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।
  40. ब्लॉक के चारों ओर 1.50 मीटर चौड़ाई का कोरिडोर होना चाहिए।

नोट:- प्लान नं. 2/14/15/23/2/14  
प्लान क्षेत्रफल 3017.794 sq.m.  
प्लान दिनांक 23/02/14



SR. NO.	LENGTH	WIDTH	AREA IN SQ.M.
1	10.810	9.930	107.343
2	27.310	27.160	741.740
3	5.960	2.570	15.317
4	1.800	2.500	4.500
5	1.100	0.230	0.506
6	4.160	4.660	19.386
7	0.230	2.500	1.150
8	1.970	16.310	32.131
9	0.700	11.720	8.204
10	5.260	3.960	20.830
10A	0.230	2.500	1.150
11	2.890	10.430	30.143
12	33.270	8.530	283.793
13	4.850	8.410	40.789
13A	0.230	4.070	0.936
14	27.300	4.070	111.111
15	1.970	4.070	8.018
16	38.120	10.480	399.498
20	38.120	8.690	331.263
21	29.050	14.230	413.382
22	9.080	9.700	88.076
23	ASPERDWG		0.900
24	ASPERDWG		1.050
25	3.130	2.100	3.287
26	2.780	4.530	6.297
27	ASPERDWG		11.700
28	9.130	2.770	25.290
29	ASPERDWG		4.100
30	4.570	1.860	8.500
30A	ASPERDWG		4.800

31	9.930	6.830	67.822
32	7.850	5.440	21.352
32A	0.115	6.880	0.791
33	2.080	24.100	50.128
34	ASPERDWG		6.800
35	4.960	2.830	14.037
35A	ASPERDWG		8.050
36	7.850	6.180	48.513
37	ASPERDWG		5.800
38	3.920	3.060	11.955
39	ASPERDWG		6.700
40	ASPERDWG		2.100
TOTAL F.A.R. AREA =			2969.27
NON F.A.R. AREA			
SR. NO.	LENGTH	WIDTH	AREA IN SQ.M.
A	5.740	4.070	23.362
B	3.625	6.940	25.158
TOTAL NON F.A.R. AREA =			48.52
TOTAL BUILT-UP AREA =			3017.794

TYPE	WIDTH	HEIGHT	SILL HT. LINE
DO1	750	2100	2100
DO2	1000	2100	2100
DO3	1200	2100	2100
DO4	1500	2100	2100
DO5	1500	2100	2100
W1	3425	2470	900 3370
W2	1200	2470	900 3370
W3	2480	2700	670 3370
W4	1190	2470	900 3370
G/D	2475	2500	- 2500
G1	11285	1870	1050 2920
FS1	3600	2500	- 2500

For Crossings Infrastructure Pvt. Ltd.  
GIAN P. MATHUR ARCHITECT  
B. Arch., C.A., A.I.T.A.  
CA No. 805769

OWNER'S SIGN: CROSSING INFRASTRUCTURE THROUGH MR. ASHOK GUPTA

ARCHITECT'S SIGN: GIAN P. MATHUR & ASSOCIATES PVT. LTD.

COMPOUNDING DRAWING FOR THE EXISTING COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHERA

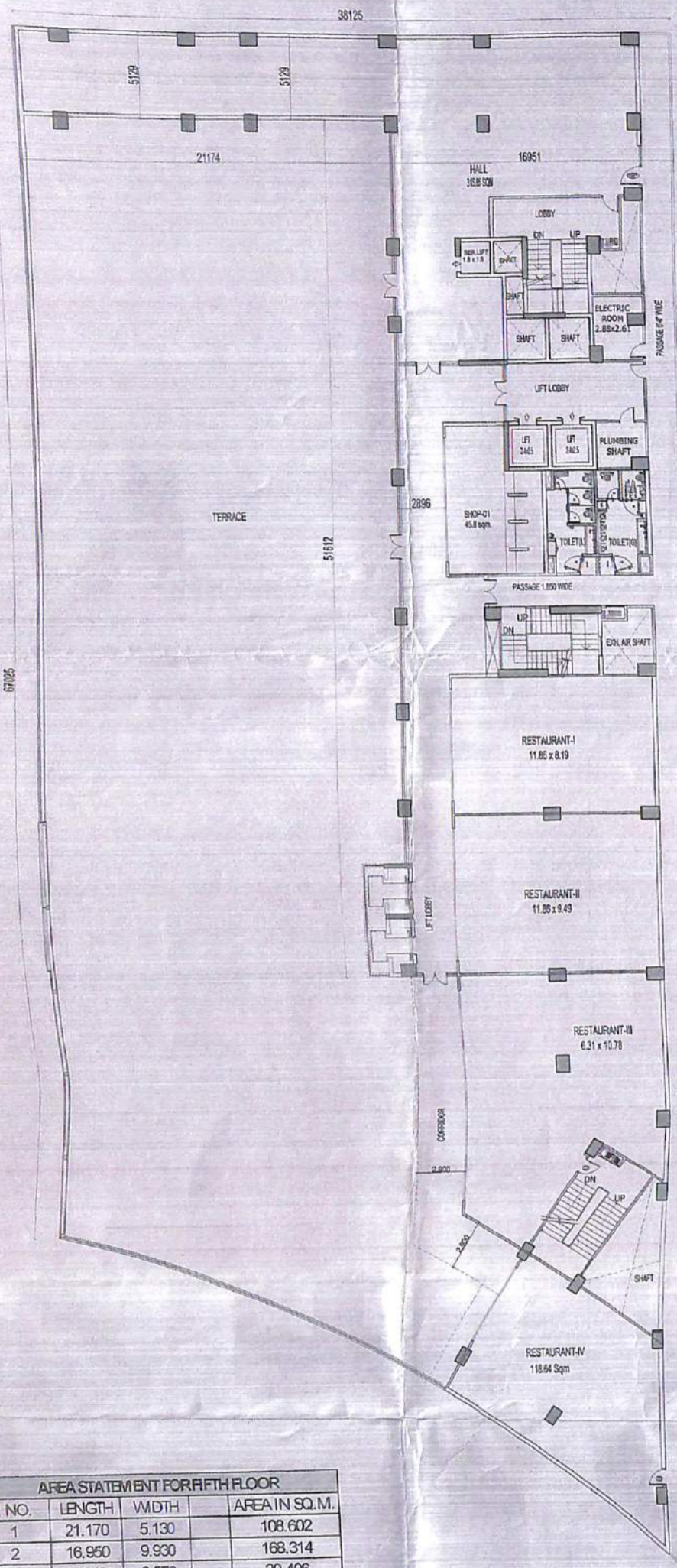
TITLE: FOURTH FLOOR PLAN

SCALE: 1:150

For Pav Realty Limited  
Authorised Signatory

09

14/10



**शमन मानचित्र**  
**गाजियाबाद विकास प्राधिकरण**  
 19/8/14  
 15/01/15 एवं 23/11/14  
 606/EM/आम/03-10/कि-03-2/10  
 नोट-यह मानचित्र निर्मित किंग जा रजि  
 ही। समस्त शर्तों पर ध्यान से ध्यान  
 करना आवश्यक होगा।

**AREA STATEMENT FOR FIFTH FLOOR**

SR NO.	LENGTH	WIDTH	AREA IN SQ.M.	
1	21.170	5.130	108.602	
2	16.950	9.930	168.314	
3	7.940	2.570	20.406	
4	4.160	2.570	10.691	
5	1.800	2.570	4.626	
6	4.160	4.660	19.386	
7	0.230	2.500	2	1.150
8	2.890	0.120	0.347	
9	1.100	0.230	2	0.506
10	0.700	5.260	3.682	
11	5.960	3.970	23.661	
12	2.890	3.730	10.780	
13	0.230	2.500	2	1.150
14	0.700	2.500	1.750	
15	5.960	8.490	50.600	
16	2.890	8.490	24.536	
17	0.230	4.070	0.936	
18	6.140	44.240	271.634	
19	8.850	18.020	159.477	
20	1.970	57.660	113.590	

20A	12.090	10.850		131.177
21	5.530	3.650		20.185
22	2.780	4.650	0.5	6.464
23	2.240	3.650	0.5	4.088
24	2.110	3.130	0.5	3.302
25	3.170	1.580		5.009
26	0.115	6.880		0.791
27	9.660	9.120		88.099
27A	ASPERDWG.			3.050
28	2.080	22.530		46.862
29	5.090	8.290	0.5	21.098
30	ASPERDWG.			10.950
31	ASPERDWG.			2.100
32	0.590	0.400		0.236
33	0.590	0.590		0.348
34	14.500	2.900		42.050
35	2.900	1.740	0.500	2.523
36	2.900	1.710	0.500	2.480
37	4.650	2.900		13.485
<b>TOTAL F.A.R AREA =</b>				<b>1400.12</b>
<b>NON F.A.R AREA</b>				
SR NO.	LENGTH	WIDTH	AREA IN SQ.M.	
A	5.740	4.070	23.362	
B	3.625	6.940	25.158	

**SCHEDULE OF OPENINGS**

TYPE	WIDTH	HEIGHT	SILL HT.	LINTEL
D01	750	2100	-	2100
D02	1080	2100	-	2100
D03	1200	2100	-	2100
D04	1500	2100	-	2100
FCD	1500	2100	-	2100
W	3425	2470	900	3370
W1	1200	2470	900	3370
W2	2460	2700	670	3370
V	1190	2470	900	3370
GL/D	2475	2500	-	2500
GL1	11285	1870	1050	2920
RS1	3000	2500	-	2500

**For Pav Realty Limited**  
 Authorised Signatory

For Crossings Infrastructure Pvt. Ltd  
 AUTHORIZED SIGNATORY  
 OWNER'S SIGN

GIAN P. MATHUR  
 ARCHITECT  
 B. ARCH. (C.A.) A.I.A.  
 CA No 30/3769  
 ARCHITECT'S SIGN

PROJECT:  
 CROSSING INFRASTRUCTURE THROUGH MR. ASHOK GUPTA

COMPOUNDING DRAWING FOR THE EXISTING COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC - VILLAGE DUNDAHERA

TITLE: FIFTH FLOOR PLAN

GIAN P. MATHUR & ASSOCIATES PVT. LTD.  
 ARCHITECTS, ENGINEERS AND PLANNERS  
 6-85, EAST OF KALKAJI, NEW DELHI.  
 TEL: 011-26100000, FAX: 011-26100001  
 EMAIL: gpmathur@crossingsinfra.com

SCALE: 1:150  
 SHEET NO. 10

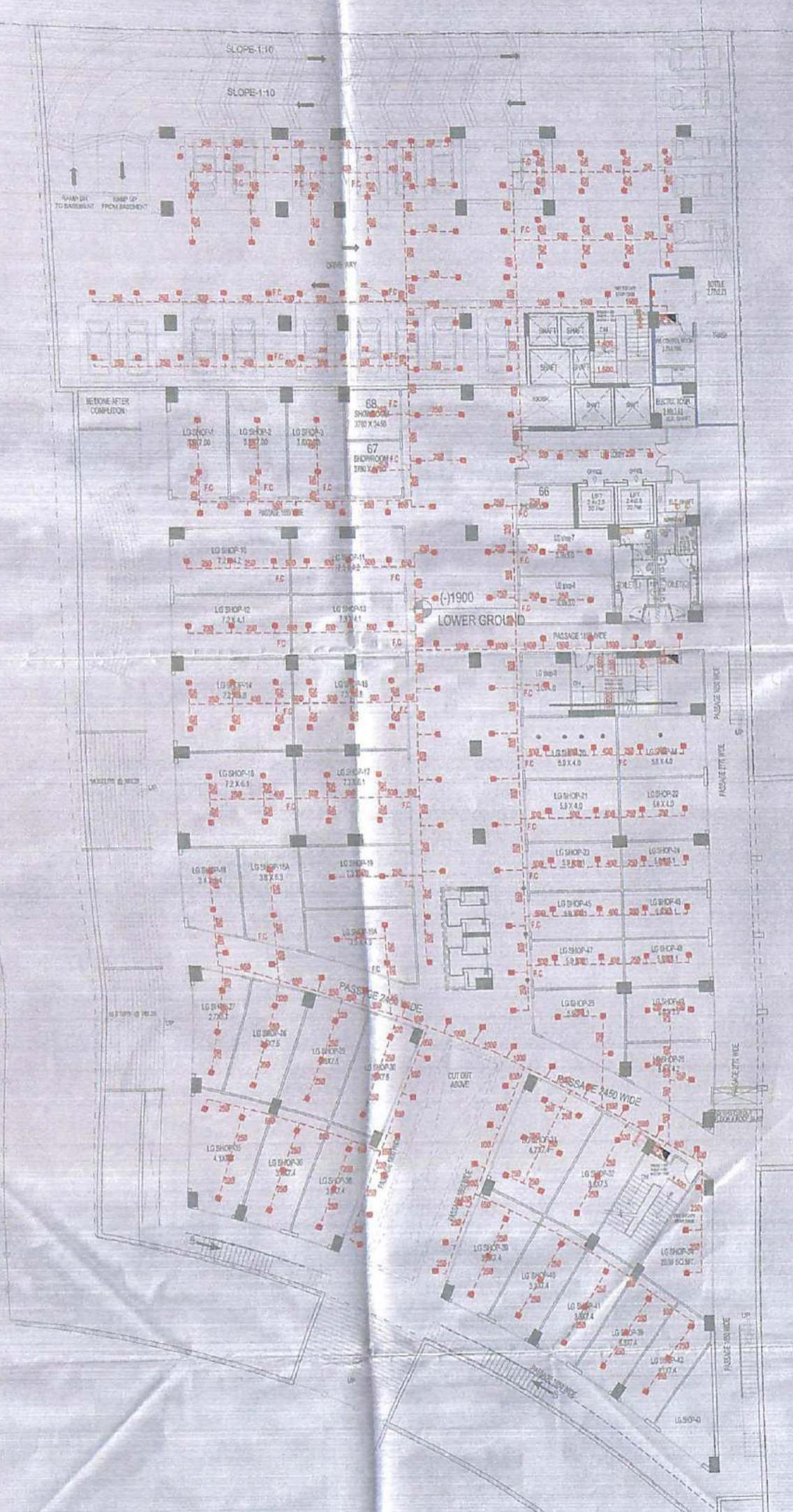




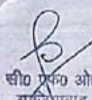



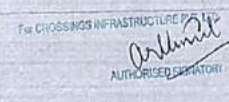

**FIRE FIGHTING LEGEND:-**

(A)	150Ø SPRINKLER PIPE
(B)	80Ø DRAIN PIPE
(C)	150Ø HYDRANT PIPE
(D)	UPRIGHT SPRINKLER
(E)	WATER TYPE 9LTRS EXTINGUISHERS.
(F)	4.5KG CO2 EXTINGUISHERS.
F.C	FUTURE CONNECTION
F.H.C	FIRE HOUSE CABINATE



यह योजना 19/02/11 को तैयार की गई है।  
 दिनांक 19/02/11 को तैयार किया गया है।  
 नगरपालिका प्रमाण पत्र की शर्तों के  
 अंतर्गत अनुमोदित है।

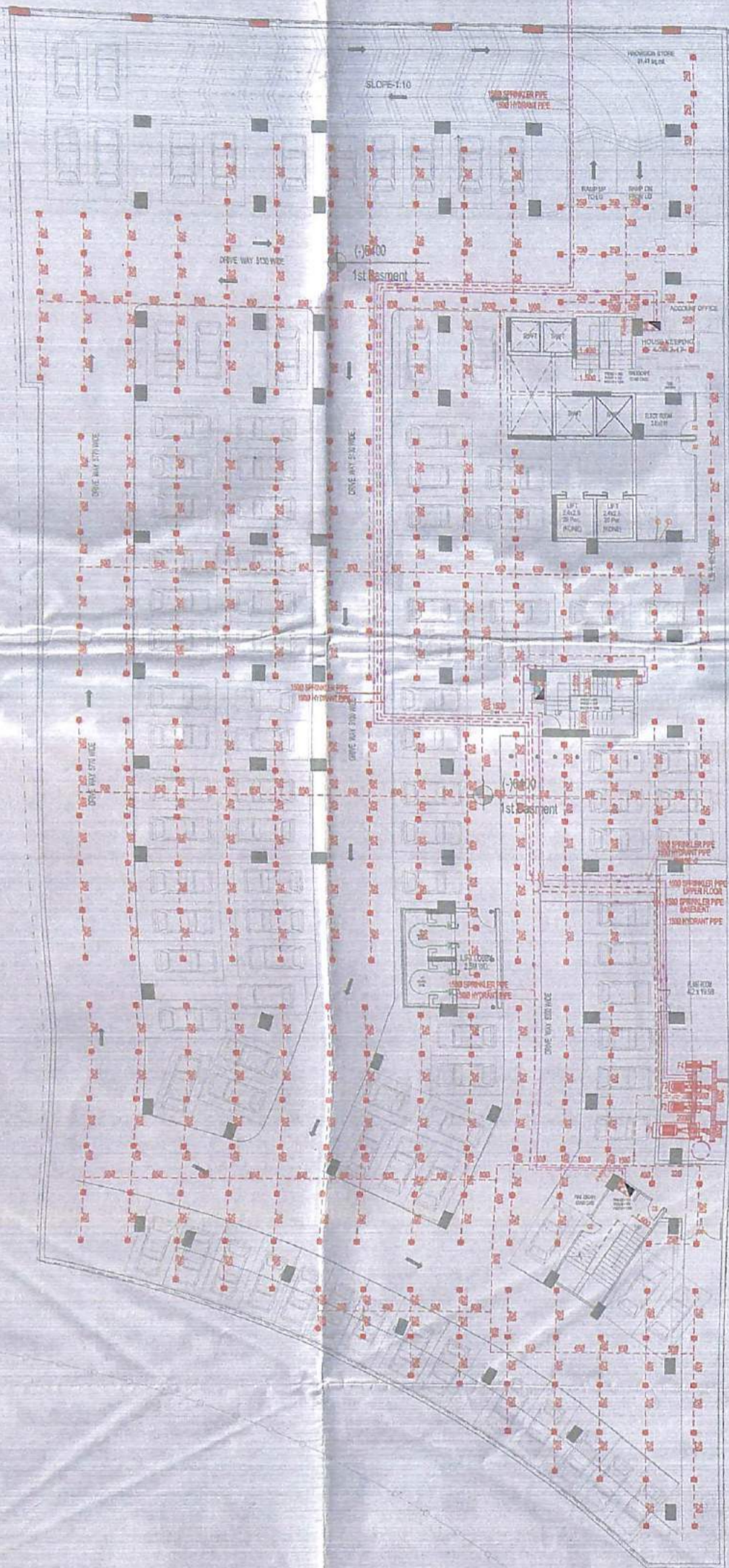
  
 श्री 0 मनीष ओ  
 मजिदियाबाद  
  
 श्री 0 मजिदियाबाद

 OWNER'S SIGN	 ARCHITECT'S SIGN
OWNER: CROSSING INFRASTRUCTURE THROUGH MR. ASHOK CHOUDHARY	
PROJECT: COMPOUNDING DRAWING FOR COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHERA	
UNIT: 868 0.40	TITLE: FIRE FIGHTING LAYOUT FIRST BASEMENT/LOWER GROUND PLAN
THIS DRAWING IS THE PROPERTY OF ARCHITECTS, ENGINEERS AND PLANNERS AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION.	
DEALT BY: YADU	CHECKED BY: DATE: SCALE: 1:80
DESIGNED BY: DATE:	PROJECT NO: 55-77-02

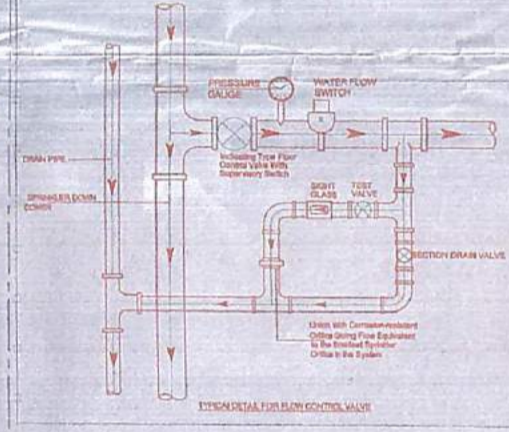
For Pav Realty Limited  
 Authorised Signatory

**FIRE FIGHTING LEGEND:-**

(A)	150Ø SPRINKLER PIPE
(B)	80Ø DRAIN PIPE
(C)	150Ø HYDRANT PIPE
(D)	UPRIGHT SPRINKLER
(E)	WATER TYPE 9LTRS EXTINGUISHERS.
(F)	4.5KG CO2 EXTINGUISHERS.
F.C.	FUTURE CONNECTION
F.H.C	FIRE HOUSE CABINATE



VENTED WATER TANK	4x4x6	CP: 300.0	14.15M
DOMESTIC WATER TANK	4x4x6	CP: 300.0	14.15M
RAIN WATER TANK	4x4x6	CP: 300.0	14.15M
FIRE WATER TANK	4x4x6	CP: 300.0	14.15M
FIRE WATER TANK	4x4x6	CP: 300.0	14.15M



पत्र नं. 02-42/120/HR/14/10/2/10  
दिनांक 29/02/11 - मानव निर्मित  
प्रवासादि प्रमाण शून्य की वस्तु को  
नैन अनुमोदित।

*(Signature)*  
सुप्रसिद्धा कानन सहित  
श्री. 2000

*(Signature)*  
श्री. सुप्रसिद्धा ओम  
गर्जनाबाद

OWNER'S SIGN: *(Signature)*  
ARCHITECT'S SIGN: *(Signature)*

OWNER:- CROSSING INFRASTRUCTURE THROUGH MR. ASHOK CHOUDHARY

PROJECT:- COMPOUNDING DRAWING FOR COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHERA

ENTR:- FIRE FIGHTING LAYOUT  
2nd BASEMENT FLOOR

DATE: 06.06.11  
SCALE: 1:50  
DRAWN: SB.FF.01

**LEGEND:-**

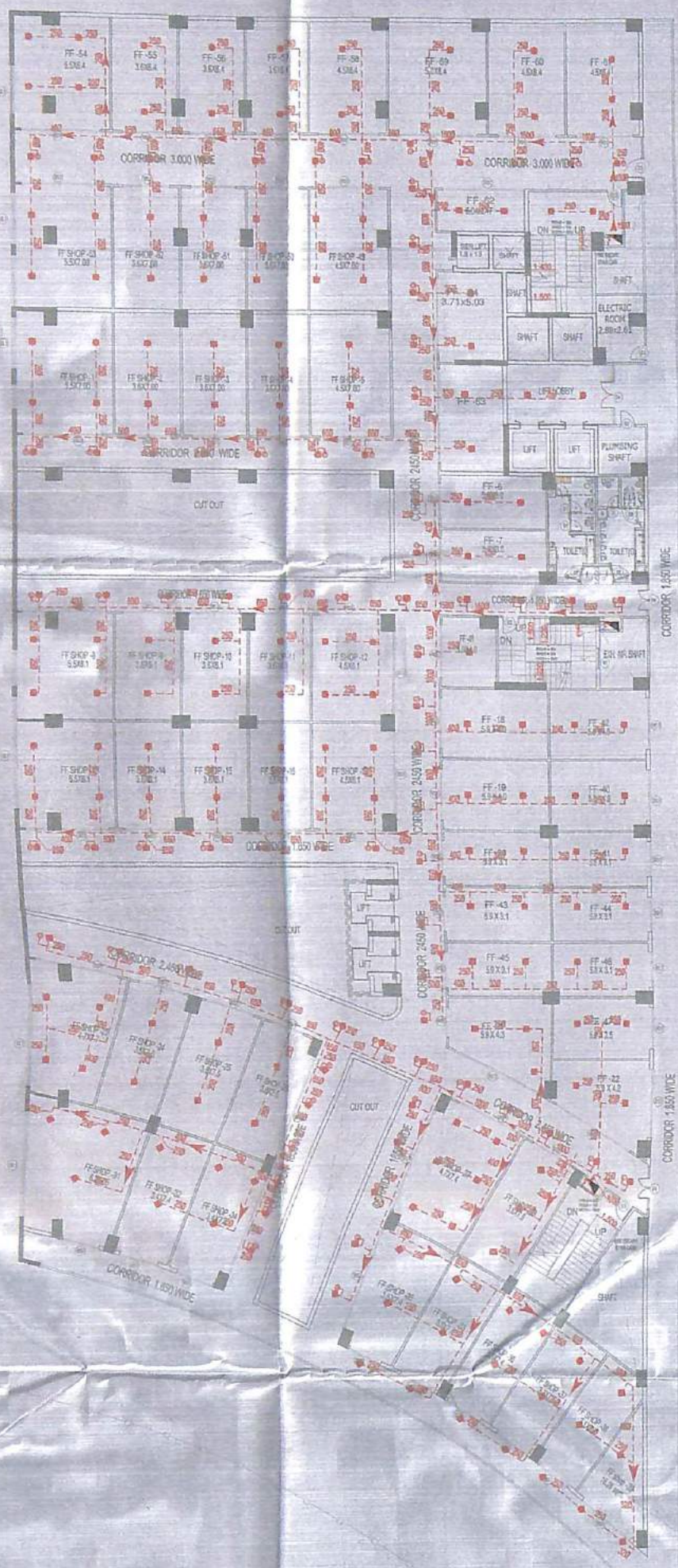
	CAP=	HEAD
P1	DIESEL ENGINE DRIVEN PUMP	2280LPM 70 MTR
P2	SPRINKLER MAIN PUMP	2280LPM 70 MTR
P3	FIRE HYDRANT ELECTRIC MAIN	2280LPM 70 MTR
P4	JOCKEY PUMP	180LPM 70 MTR

For Pav Realty Limited  
*(Signature)*  
Authorised Signatory

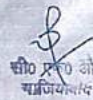





**FIRE FIGHTING LEGEND:-**

- (A) 150Ø SPRINKLER PIPE
- (B) 80Ø DRAIN PIPE
- (C) 150Ø HYDRANT PIPE
- UPRIGHT SPRINKLER
- WATER TYPE 9LTRS EXTINGUISHERS.
- 4.5KG CO2 EXTINGUISHERS.
- F.C FUTURE CONNECTION
- F.H.C FIRE HOUSE CABINATE

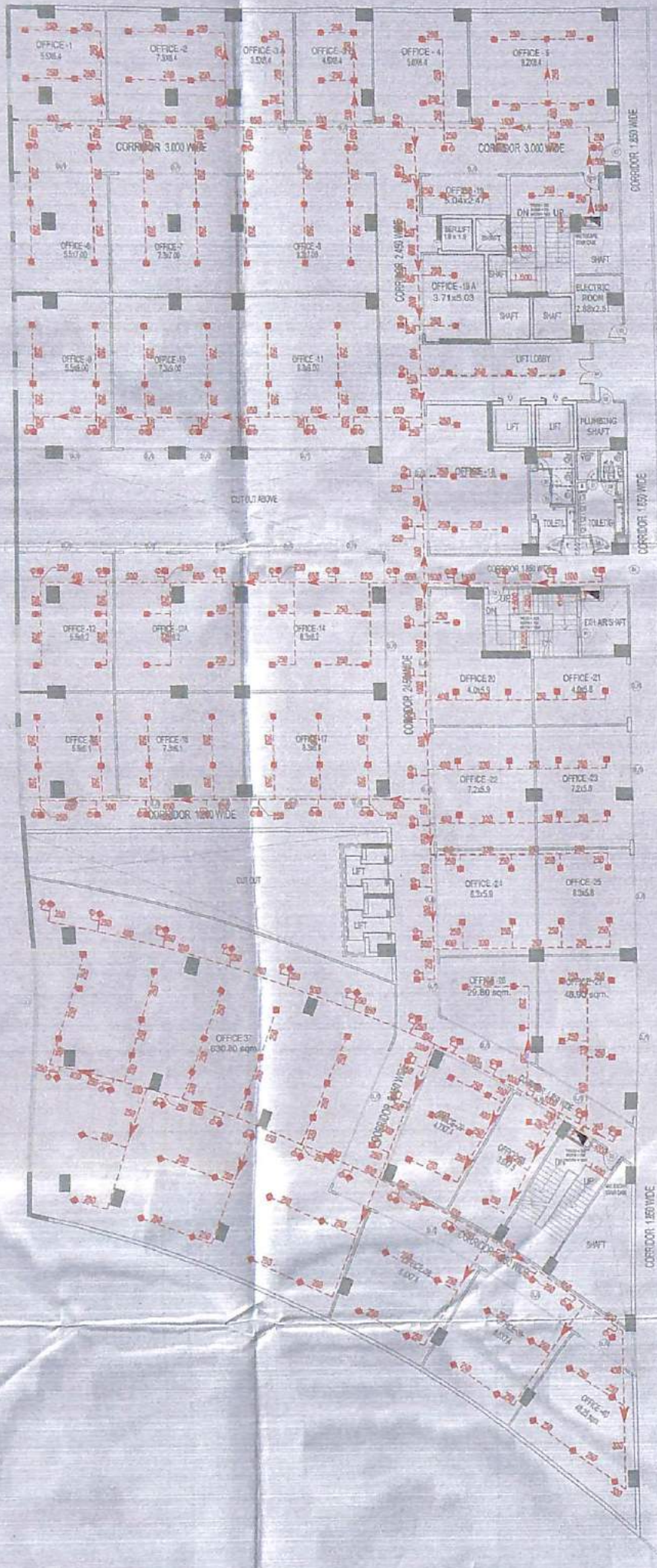


11/05/2017  
 12/02/17  
 11/05/2017

 श्री अशोक चौधरी  
 OWNER'S SIGN  
 श्री अनिल मथुर  
 ARCHITECT'S SIGN

For CROSSING INFRASTRUCTURE PVT. LTD.  AUTHORIZED SIGNATORY OWNER'S SIGN		 ARCHITECT'S SIGN
OWNER: CROSSING INFRASTRUCTURE THROUGH MR. ASHOK CHOUDHARY		
PROJECT: COMPOUNDING DRAWING FOR COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHERA		
UNIT:	TITLE	
	FIRE FIGHTING LAYOUT FIRST FLOOR PLAN	
FOR DRAWING IS THE PROPERTY OF CROSSING INFRASTRUCTURE PVT. LTD. AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF CROSSING INFRASTRUCTURE PVT. LTD.		CIAN P. MATHUR & ASSOCIATES PVT. LTD. ARCHITECTS, ENGINEERS AND PLANNERS G-98, EAST OF WALKER, NEW DELHI PH: 011-26108888, 26108889 (www.cianp.com)
SCALE: 0.40"	DATE: 08.05.17	05
SHEET: 01/01	TADAV: 08.05.17	SCALE: 1/100

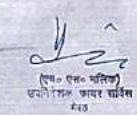
For Pav Realty Limited  
  
 Authorised Signatory

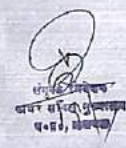



**FIRE FIGHTING LEGEND:-**

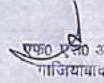
- (A) 1500 SPRINKLER PIPE
- (B) 800 DRAIN PIPE
- (C) 1500 HYDRANT PIPE
- (⊙) UPRIGHT SPRINKLER
- (⊙) WATER TYPE 9LTRS EXTINGUISHERS.
- (⊙) 4.5KG CO2 EXTINGUISHERS.
- F.C FUTURE CONNECTION
- F.H.C FIRE HOUSE CABINATE

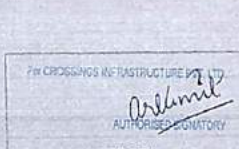
यह संपूर्ण योजना आशोक चौधरी द्वारा तैयार की गई है।  
 दिनांक 10/02/15 को तैयार किया गया।  
 अनधिकृत प्रमाण प्रयुक्त करने से  
 कानून अमान्य है।


  
 (श्री. अशोक चौधरी)  
 स्वामी/प्रमुख कार्यकारी  
 213

  
 (श्री. अशोक चौधरी)  
 स्वामी/प्रमुख कार्यकारी  
 213

  
 श्री अशोक चौधरी  
 स्वामी/प्रमुख कार्यकारी

  
 श्री अशोक चौधरी  
 स्वामी/प्रमुख कार्यकारी

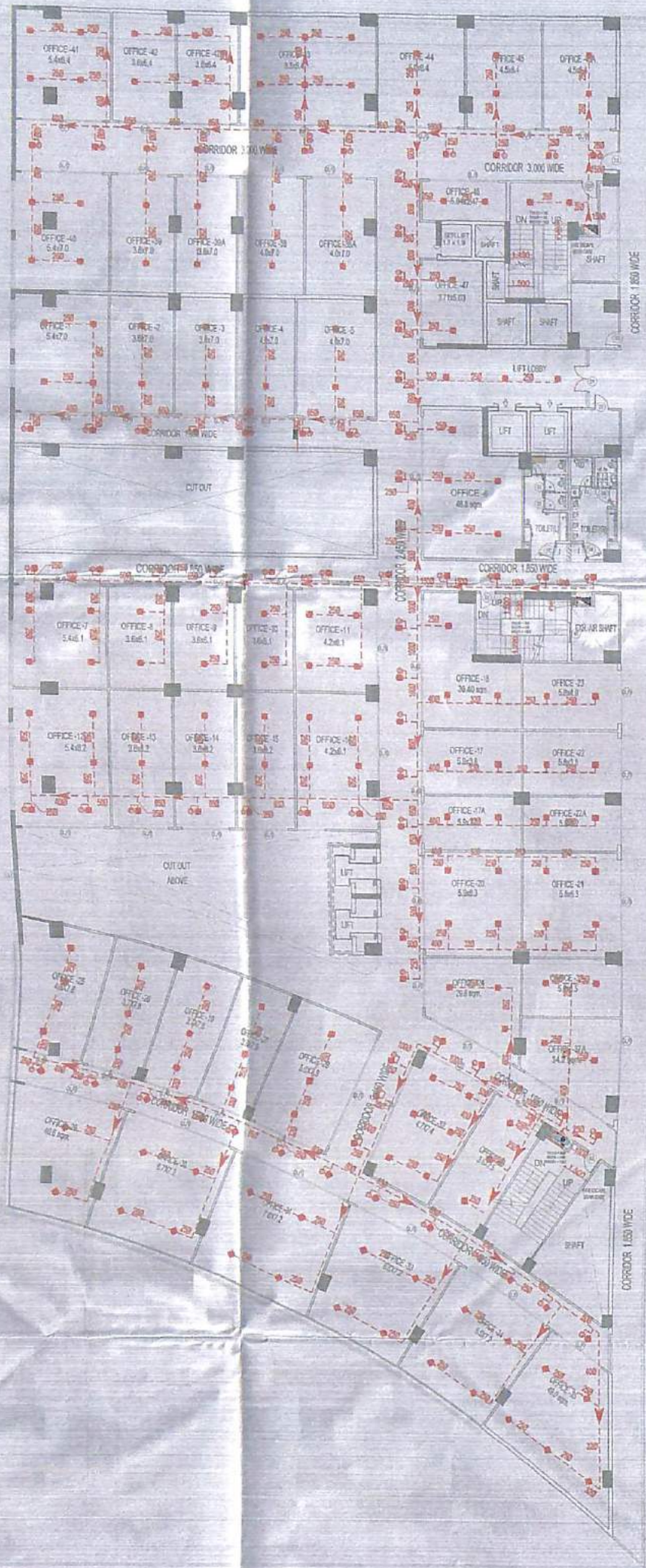
  
 OWNER'S SIGN

  
 ARCHITECT'S SIGN

OWNER: CROSSING INFRASTRUCTURE THROUGH MR. ASHOK CHOUDHARY  
 PROJECT: COMPOUNDING DRAWING FOR COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHERA  
 UNIT: TITLE: FIRE FIGHTING LAYOUT SECOND FLOOR PLAN

DEALT: CHD: DATE: 08.06.15  
 SCALE: 1:150  
 DRO/KO, 50-FF-08

For Pav Realty Limited  
 Authorised Signatory



**FIRE FIGHTING LEGEND:-**

(A)	150Ø SPRINKLER PIPE
(B)	80Ø DRAIN PIPE
(C)	150Ø HYDRANT PIPE
(S)	UPRIGHT SPRINKLER
(W)	WATER TYPE 9LTRS EXTINGUISHERS.
(C2)	4.5KG CO2 EXTINGUISHERS.
(F.C)	FUTURE CONNECTION
(F.H.C)	FIRE HOUSE CABINATE

प्लान नं. 92/75/अ/व/110  
दिनांक 19/02/11  
महाराष्ट्र शासन शासकीय भूतंत्र  
अनुमोदित

*[Signature]*  
श्री. ए. ए. शर्मा  
श्री. ए. ए. शर्मा

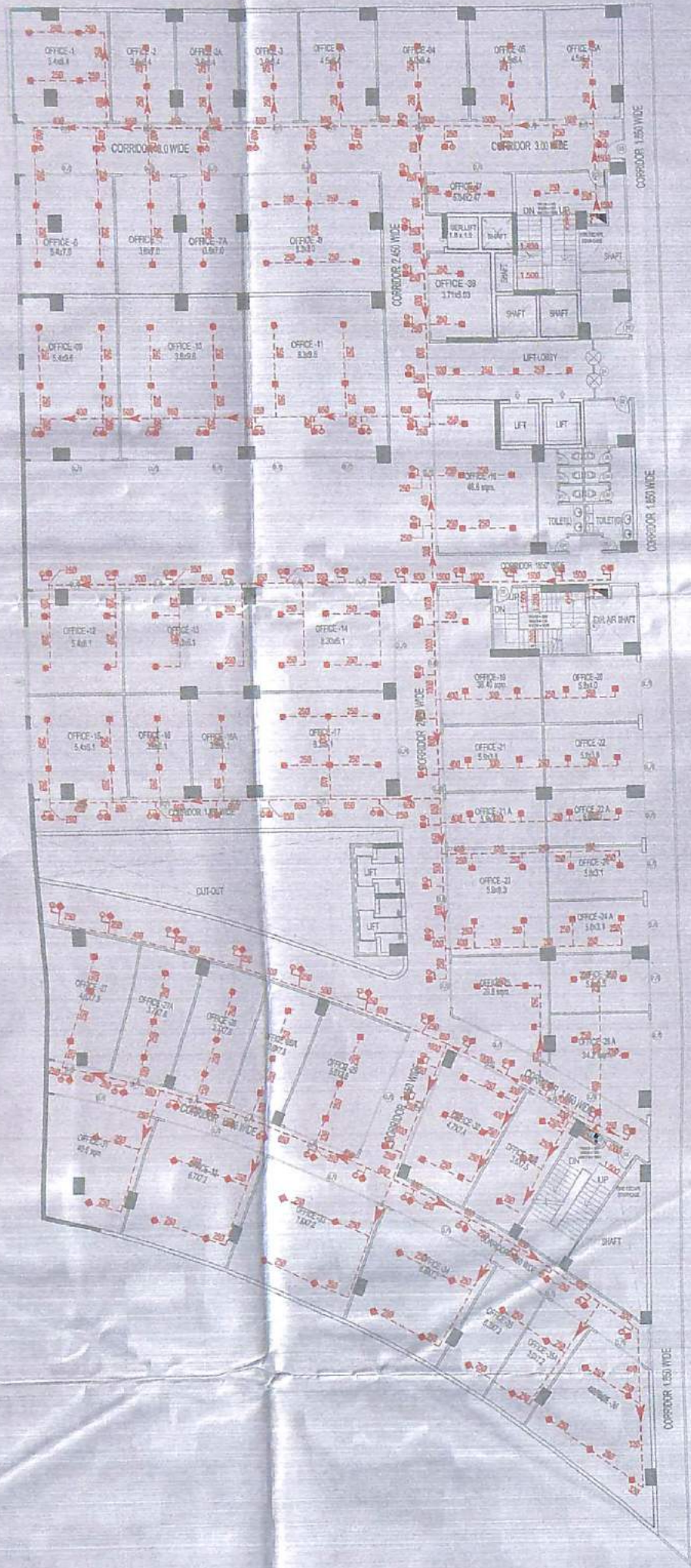
*[Signature]*  
श्री. ए. ए. शर्मा  
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*[Signature]*  
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श्री. ए. ए. शर्मा

*[Signature]*  
श्री. ए. ए. शर्मा  
श्री. ए. ए. शर्मा

For Pav Realty Limited  
*[Signature]*  
Authorised Signatory

<p>CROSSING INFRASTRUCTURE CONSULTANTS</p> <p><i>[Signature]</i></p> <p>OWNER'S SIGN</p>		<p><i>[Signature]</i></p> <p>ARCHITECT'S SIGN</p>	
<p>PROJECT: CROSSING INFRASTRUCTURE THROUGH MR. ASHOK CHOUDHARY</p>			
<p>PROJECT: COMPOUNDING DRAWING FOR COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHARA</p>			
<p>UNIT: FIRE FIGHTING LAYOUT</p>		<p>TITLE: THIRD FLOOR PLAN</p>	
<p>OWNER: GIAN P. MATHUR &amp; ASSOCIATES PVT. LTD.</p>		<p>DATE: 06.06.11</p>	
<p>DRAWN: YADAV</p>		<p>SCALE: 1:500</p>	



**FIRE FIGHTING LEGEND:-**

- (A) 1500 SPRINKLER PIPE
- (B) 800 DRAIN PIPE
- (C) 1500 HYDRANT PIPE
- (D) UPRIGHT SPRINKLER
- (E) WATER TYPE 9LTRS EXTINGUISHERS.
- (F) 4.5KG CO2 EXTINGUISHERS.
- F.C FUTURE CONNECTION
- F.H.C FIRE HOUSE CABINATE

1. दिनांक 15/02/2018 को  
 दिनांक 15/02/18 को  
 अवधि परमाणु रूप में  
 अर्थात् अनुमोदित।


*(Signature)*  
 (Name and Title)  
 Authorised Signatory

*(Signature)*  
 (Name and Title)  
 Authorised Signatory

*(Signature)*  
 (Name and Title)  
 Authorised Signatory

*(Signature)*  
 (Name and Title)  
 Authorised Signatory

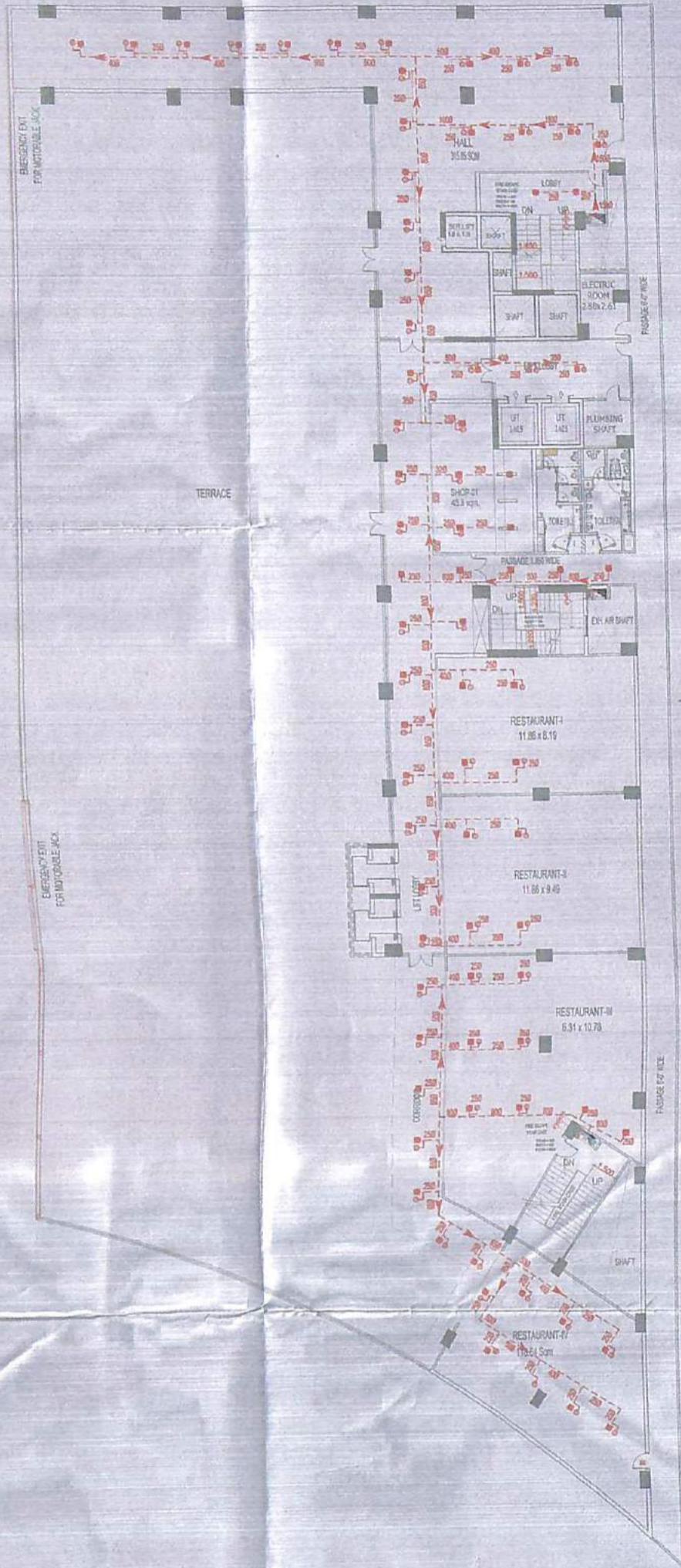
For Pav Realty Limited  
*(Signature)*  
 Authorised Signatory

For CROSSINGS INFRASTRUCTURE PVT. LTD. <i>(Signature)</i> AUTHORIZED SIGNATORY OWNER'S SIGN		 ARCHITECT'S SIGN
OWNER:- CROSSING INFRASTRUCTURE THROUGH MR. ASHOK CHOUHARY		
PROJECT:- COMPOUNDING DRAWING FOR COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHERA		
UNIT	TITLE	
	FIRE FIGHTING LAYOUT FOURTH FLOOR PLAN	
THIS DRAWING IS THE PROPERTY OF CROSSING INFRASTRUCTURE PVT. LTD. AND SHALL BE USED ONLY FOR THE PROJECT MENTIONED HEREIN.		
DEALT BY	CHKD BY	DATE
B.R.B.	YADAV	08.05.18
SCALE		1:100
DRAWN BY		08 FF-08



**FIRE FIGHTING LEGEND:-**

(A)	1500 SPRINKLER PIPE
(B)	800 DRAIN PIPE
(C)	1500 HYDRANT PIPE
(D)	UPRIGHT SPRINKLER
(E)	WATER TYPE 8LTRS EXTINGUISHERS.
(F)	4.5KG CO2 EXTINGUISHERS.
F.C	FUTURE CONNECTION
F.H.C	FIRE HOUSE CABINATE



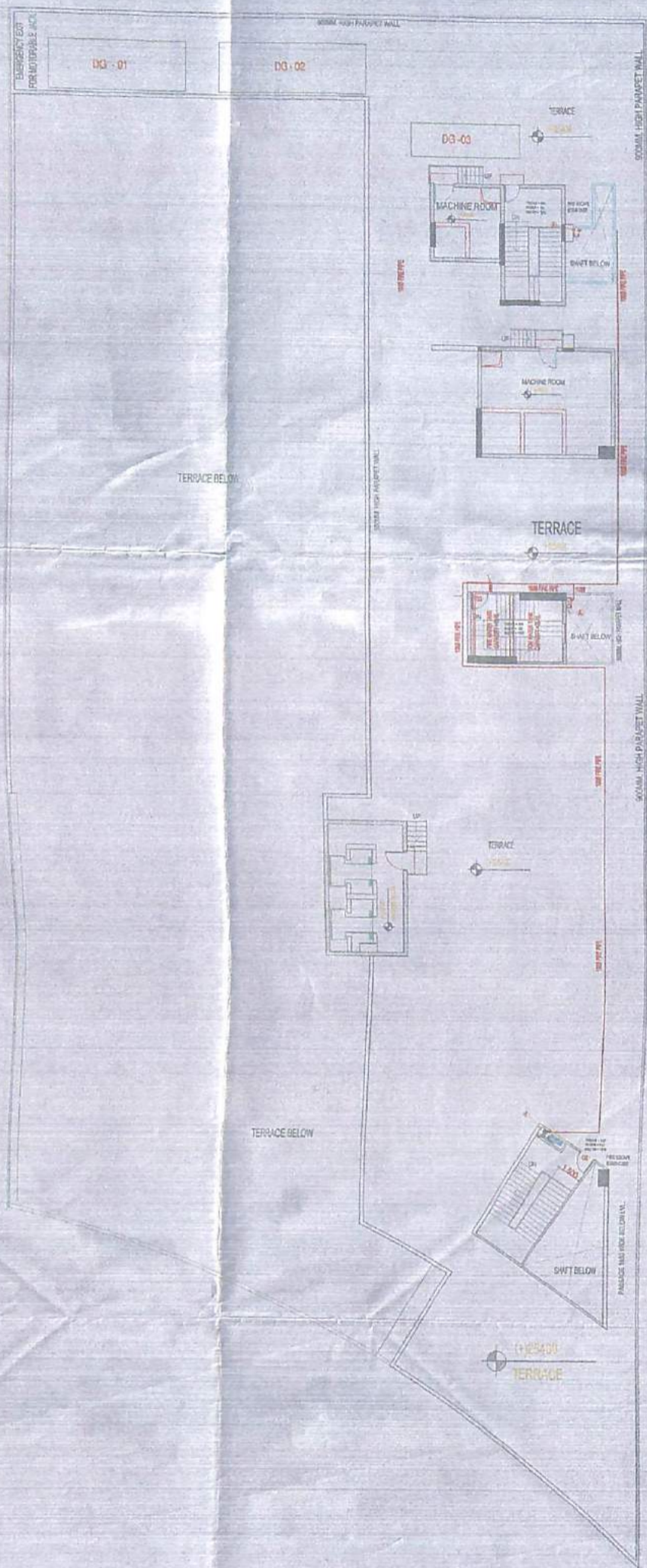
एन पी ०७२९३/२०१४/१६५५/११  
 दिनांक १९/०२/१९ अथवा दिनांक  
 अनायास प्रमाण एवं की शर्तों से  
 प्रवीण अनुमोदित है।

श्री ०७२९३ और  
 गाजियाबाद

श्री ०७२९३ और  
 गाजियाबाद

For CROSSINGS INFRASTRUCTURE LTD.  OWNER'S SIGN		 ARCHITECT'S SIGN	
OWNER:- CROSSING INFRASTRUCTURE THROUGH MR. ASHOK CHOUDHARY			
PROJECT:- COMPOUNDING DRAWING FOR COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHERA			
SHEET NO. 09		TITLE FIRE FIGHTING LAYOUT FIFTH FLOOR PLAN	
PREPARED BY THE PROPERTY OF SHRI PAV REALTY LTD. AND SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.		SHRI P. MATHUR & ASSOCIATES PVT. LTD. ARCHITECTS, ENGINEERS AND PLANNERS 6/28, SEKTOR 14, GATEWAY, NEW DELHI REG. NO. ENR/2011/PAC/211/2008/11 2011, Registered at 2008/2008/11	
DESIGNED BY CHKD	DATE 02.02.18	SCALE 1:100	DRAWING NO. 09-FF-09

For Pav Realty Limited  
 Authorized Signatory



**FIRE FIGHTING LEGEND:-**

(A)	1500 SPRINKLER PIPE
(B)	800 DRAIN PIPE
(C)	1500 HYDRANT PIPE
(D)	UPRIGHT SPRINKLER
(E)	WATER TYPE 9LTRS EXTINGUISHERS.
(F)	4.5KG CO2 EXTINGUISHERS.
(G)	FUTURE CONNECTION
(H)	FIRE HOUSE CABINATE

महाराष्ट्र शासन  
 19/02/11  
 नापका क्रमांक: ...  
 जवोन अनुमतिद्वारा।

*(Signature)*  
 ...  
*(Signature)*  
 ...

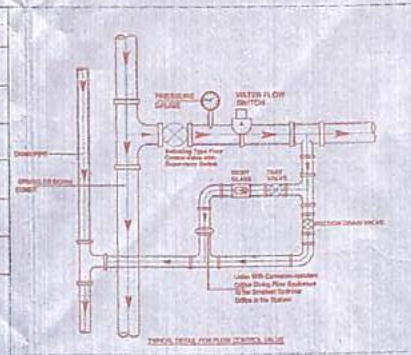
For Pav Realty Limited  
*(Signature)*  
 Authorised Signatory

For CROSSINGS INFRASTRUCTURE BY <i>(Signature)</i> AUTHORIZED SIGNATORY OWNER'S SIGN		 ARCHITECT'S SIGN
OWNER:- CROSSING INFRASTRUCTURE THROUGH MR. ASHOK CHOUDHARY		
PROJECT: COMPOUNDING DRAWING FOR COMMERCIAL BLOCK AT PLOT NO. C-2, CROSSING REPUBLIC VILLAGE DUNDAHARA		
SHEET: 10	TITLE: FIRE FIGHTING LAYOUT TERRACE FLOOR PLAN	
<small>THIS DRAWING IS THE PROPERTY OF SHRI PARTHASARATHI &amp; COMPANY AND SHALL NOT BE USED, COPIED OR REPRODUCED WITHOUT PERMISSION.</small>		
PREPARED BY: YADAV	DATE: 08.06.15	SCALE: 1:100
PROJECT NO.: 08.FF.10		10

**FIRE PUMPS**

TAG NO.	PUMPS DESCRIPTION	CAPACITY	HEAD
F1	FIRE PUMP (DIESEL ENGINE)	2280 LPM	80 M
F2	FIRE PUMP (ELECTRICAL DRIVEN)	2280 LPM	80 M
F3	SPRINKLER PUMP (ELECTRICAL DRIVEN)	2280 LPM	80 M
F4	JOCKEY PUMP (ELECTRICAL DRIVEN)	180 LPM	80 M

PS	PENDENT TYPE SPRINKLER
ICV	INSTALLATION CONTROL VALVE
AV	AIR VESSEL
LV	LANDING VALVE
FHC	FIRE HOSE CABINET
NRV	NON-RETURN VALVE
ARV	AIR RELEASE VALVE

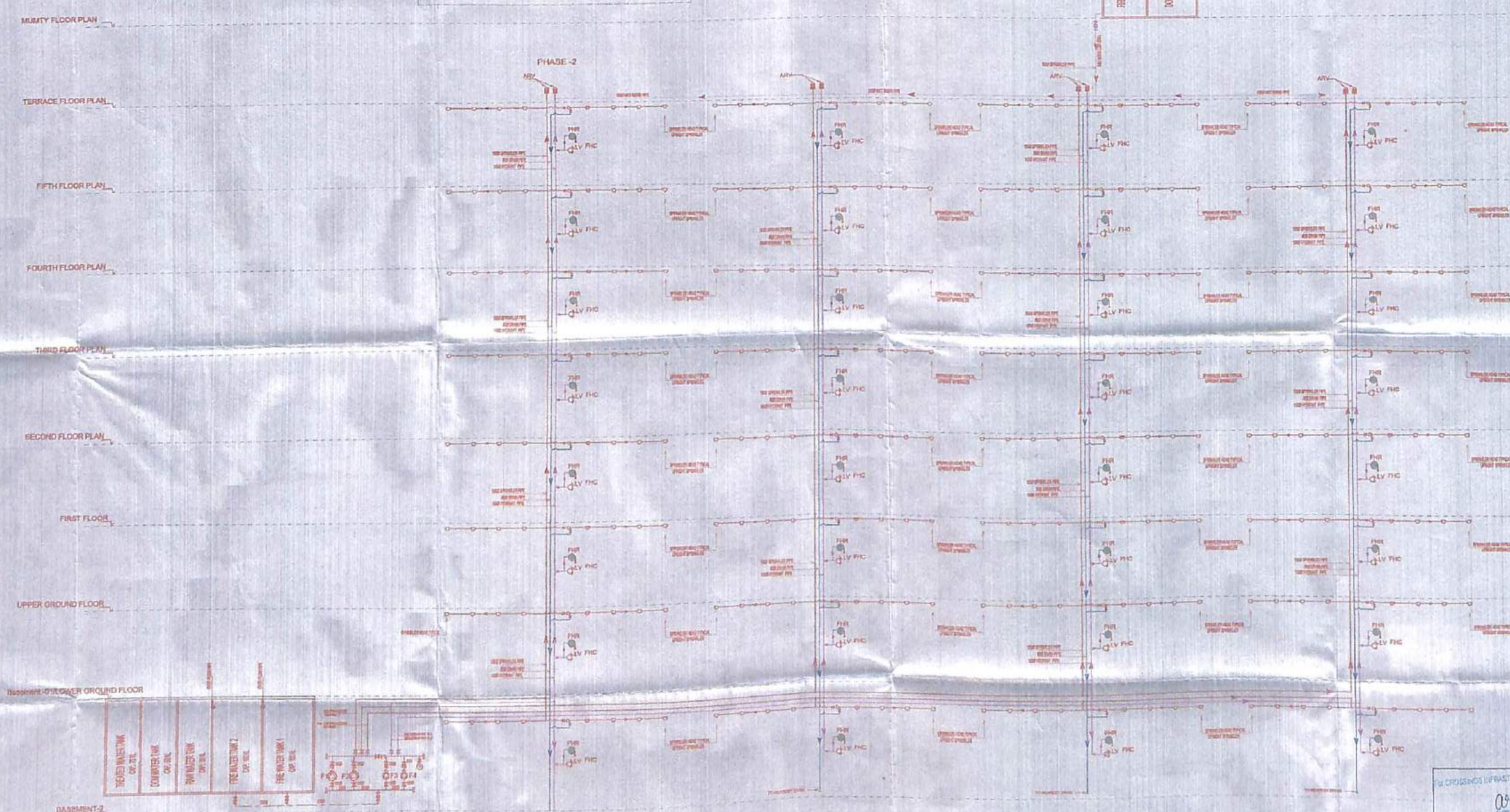


श्री. पवन कुमार / श्री. अशोक चौधरी  
 दिनांक 18/10/2011 द्वारा निर्देशित  
 प्रमाणित प्रमाण सह को सही से  
 प्रवीण अनुमोदित।

श्री. अशोक चौधरी  
 (एक एम. ए. सी. ई.)  
 एन. ई. टी. ए. सी.  
 एन. ई. टी. ए. सी.

श्री. अशोक चौधरी  
 गणेशपुरा

श्री. अशोक चौधरी  
 गणेशपुरा



For Pav Realty Limited

Authorised Signatory

CROSSING INFRASTRUCTURE PVT. LTD.  
 OWNERS SIGN  
 ARCHITECT'S SIGN

DESIGNER:  
 CROSSING INFRASTRUCTURE THROUGH MFL ASHOK CHAUDHARY






PROJECT:  
 COMPOUNDING DRAWING FOR  
 COMMERCIAL BLOCK AT PLOT NO. C-2,  
 CROSSING REPUBLIC VILLAGE DUNDAHERA

TITLE:  
 FIRE FIGHTING LAYOUT  
 SCHEMATIC DIAGRAM  
 DRAWN BY: PAV REALTY & ASSOCIATES PVT. LTD.  
 SCALE: 1:1000  
 DATE: 18/10/2011








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For Pav Realty Limited  
  
 Authorised Signatory

**FIRE LEGEND:**

	1500 THREE WAY FIRE BRIGADE EMERGENCY CONN
	1500 FOUR WAY FIRE BRIGADE DRAW IN CONNECTION
	1000 FIRE BRIGADE DRAW OUT CONNECTION
	EXTERNAL FIRE HYDRANT
	1500 MS FIRE EXTERNAL FIRE RING MAIN

**PLUMBING LEGEND:-**

	STORM WATER MANHOLE
	SEWER WATER MANHOLE
	3000mm DIA RAIN WATER HARVESTING PIT
	GULLY TRAP 300x300mm
	CATCH BASIN TRAP 450x450mm
	250# R.C.C PIPE FOR STORM
	150# R.C.C PIPE FOR SEWER

REVISION	DATE	DESCRIPTION	NO OF SHEETS	TOTAL SHEETS	BY	CHECKED BY
01	23.04.13	RAIN WATER PIPE LAYOUT AT GROUND	1	1	Y.N. VADY	Y.N. VADY
02	15.01.14	LEVEL CHANGE FOR SITE	1	2	Y.N. VADY	Y.N. VADY

CLIENT: PAV REALTY PVT. LTD.

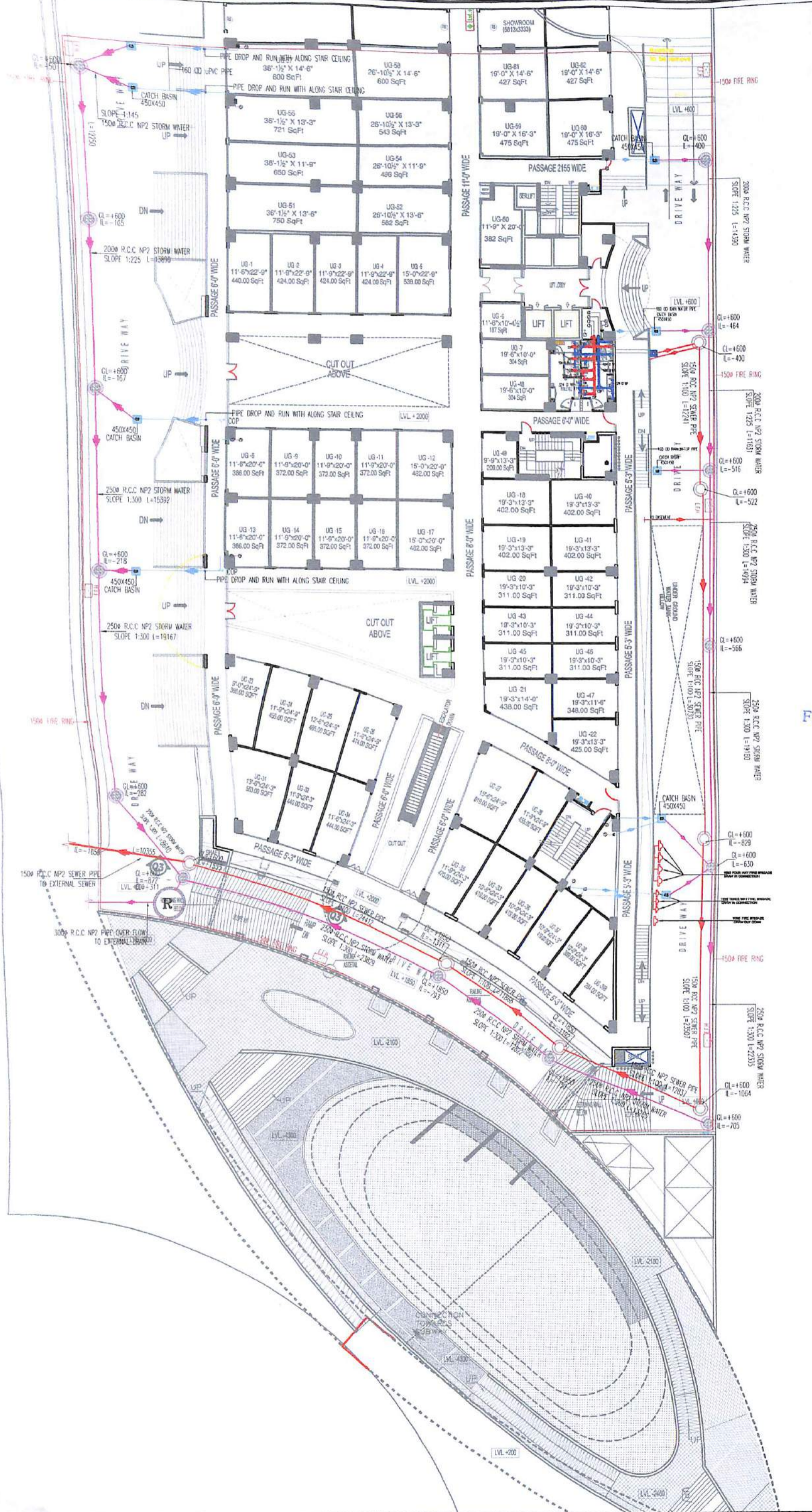
PROJECT: ORBIT PLAZA CROSSINGS REPUBLIK AT VILLAGE DUNDAHERA, GHAZIABAD, NH-24

SHEET TITLE: PLUMBING DRAWING SITE PLAN

ARCHITECT: GIAN P. MATHUR & ASSOCIATES (P) LTD. ARCHITECTS, ENGINEERS & PLANNERS  
 15/01/14550000, 45500012 EMAIL: gpmathur@rediffmail.in

APPROVED BY:	CHECKED BY:
SCALE: 1/150	DATE: 03-10-12
DEALT: VIJAY KAMBOJ	DRG. NO: OP-PL-01

REVISION: R0-3



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PHASE - (EXISTING BUILDING)

For Pav Realty Limited  
*ABN*  
 Authorised Signatory  
**GOOD FOR CONSTRUCTION**

REVISION	DATE	DESCRIPTION	NO. OF SHEETS	ISSUED TO	BY

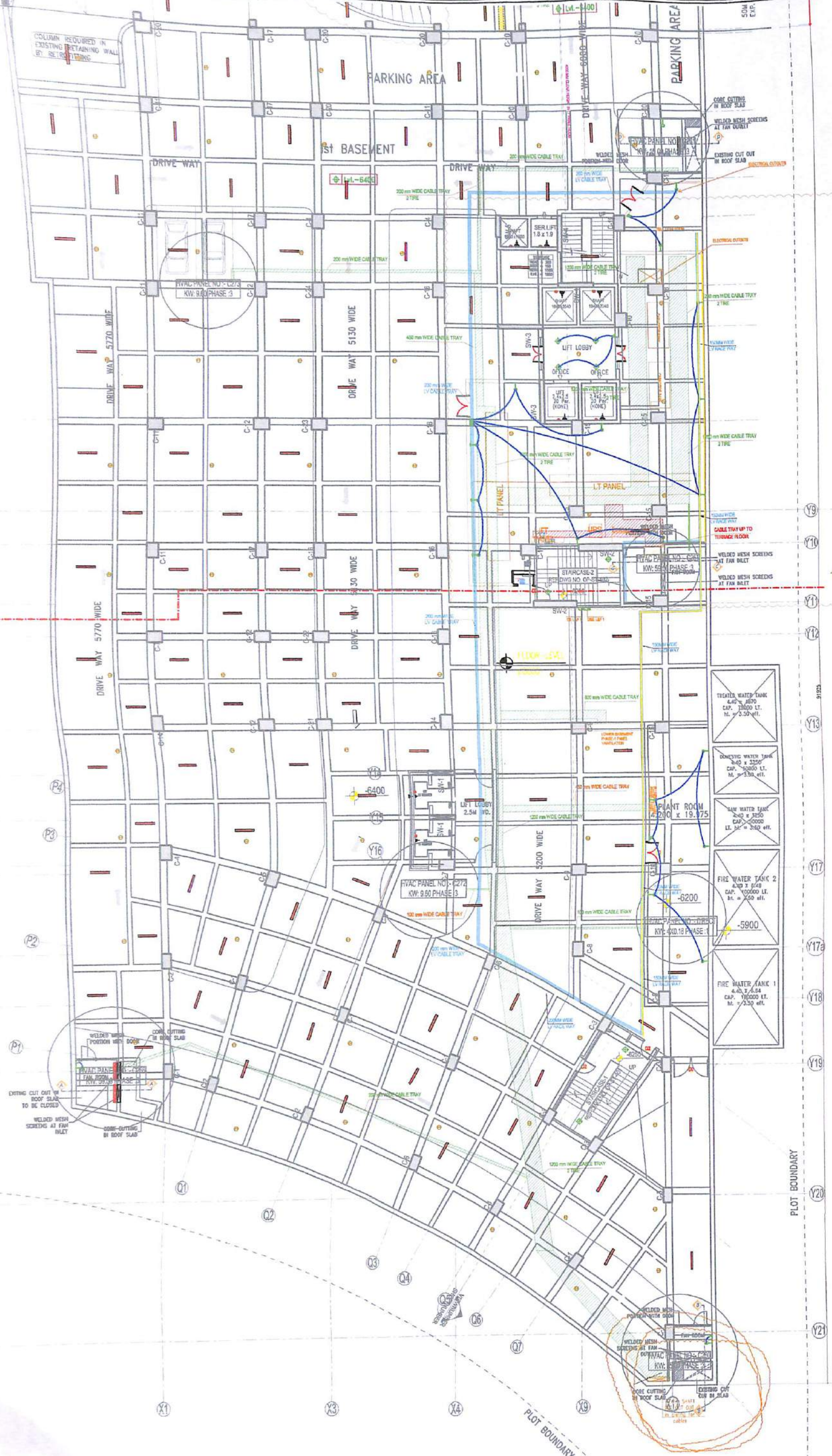
**CLIENT:**  
 PAV REALTY PVT. LTD.

**PROJECT:**  
 ORBIT PLAZA  
 CROSSINGS REPUBLIC  
 AT VILLAGE DUNDAHERA, GHAZIABAD, NH-24

**Engineers & Consultants**  
**ABN CONSULTANTS**  
 Engineers & Consultants  
 Mehjo Nagar New Delhi - 11004  
 Mobile: 9873732675

**SHEET TITLE:**  
 ELECTRICAL LAYOUT  
 BASEMENT FLOOR

APPROVED BY :	CHECKED BY :
SCALE 1:120	DATE : 23.02.2013
DEALT : AFZAL	SHEET A-1
REVISION	DRG. NO.



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PHASE-(EXISTING BUILDING)

for Pay Realty Limited  
*ABZ*  
 Authorised Signatory

GOOD FOR CONSTRUCTION

REVISED	DATE	DESCRIPTION	NO OF SHEETS	ISSUED TO	REMARKS

CLIENT: PAV REALITY PVT. LTD.

PROJECT: ORBIT PLAZA CROSSINGS REPUBLIK AT VILLAGE DUNDAHERA, GHAZIABAD, NH-24

Engineers & Consultants  
**ABN CONSULTANTS**  
 Mohiya Nagar New Delhi - 110044  
 Mobile: 9073732970

SHEET TITLE: ELECTRICAL LAYOUT LOWER GROUND FLOOR

APPROVED BY:	CHECKED BY:
SCALE: 1:100	DATE: 15/04/2014
DEALT: AFZA	SHEET: A-1
REVISION	DRG. NO

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PHASE - (EXISTING BUILDING)

For Pav Realty Limited  
*AB*  
 Authorised Signatory  
**GOOD FOR CONSTRUCTION**

REVISION	DATE	DESCRIPTION	NO. OF SHEETS	ISSUED TO	REMARKS

**CLIENT:**  
 PAV REALTY PVT. LTD.

**PROJECT:**  
 ORBIT PLAZA  
 CROSSINGS REPUBLIK  
 AT VILLAGE DUNDAHERA, GHAZIABAD, NH-24

**ABN CONSULTANTS**  
 Engineers & Consultants  
 Mehra Nagar New Delhi - 11004  
 Mobile: 9873732979

**SHEET TITLE:**  
 ELECTRICAL LAYOUT  
 UPPER GROUND FLOOR

APPROVED BY:	CHECKED BY:
SCALE: 1:130	DATE: 15.04.2014
DEALT: AFZAL	SHEET: A-1
REVISION	DRG. NO.



**VIA NUMBER SHEET NUMBER**





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PHASE - I (EXISTING BUILDING)

For Pav Realty Limited  
 Authorised Signatory

**GOOD FOR CONSTRUCTION**

NO.	DATE	DESCRIPTION	NO. OF PAGES	ISSUED TO	REMARKS

CLIENT: PAV REALTY PVT. LTD.

PROJECT: ORBIT PLAZA CROSSINGS REPUBLIC AT VILLAGE DUNDAHERA, GHAZIABAD, NH-24

ABN CONSULTANTS  
 Engineers & Consultants  
 Mahiya Nagar New Delhi - , INDIA  
 Mobile: 9873732876

SHEET TITLE: ELECTRICAL LAYOUT THIRD FLOOR

APPROVED BY:	CHECKED BY:
SCALE: 1:130	DATE: 15.04.2014
DEALT: AFZAL	SHEET: A-1
REVISION:	DRG. NO.



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For Pav Realty Limited  
*ABN*  
 Authorised Signatory  
**GOOD FOR CONSTRUCTION**

REVISION	DATE	DESCRIPTION	NO. OF SHEETS	ISSUED TO	REMARKS

CLIENT  
**PAV REALTY PVT. LTD.**

PROJECT  
**ORBIT PLAZA  
 CROSSINGS REPUBLIK  
 AT VILLAGE DUNDAHERA, GHAZIABAD, NH-24**

Electrical Consultant  
**ABN CONSULTANTS**  
 Engineers & Consultants  
 Mahya Nagar New Delhi - , INDIA  
 Mobile: 9873732876

SHEET TITLE  
**ELECTRICAL LAYOUT  
 FOURTH FLOOR**

APPROVED BY : \_\_\_\_\_ CHECKED BY : \_\_\_\_\_  
AER/R

SCALE : 1:120 DATE : 15.04.2014  
 DEALT : AFZA SHEET : A-1

REVISION \_\_\_\_\_ DRG. NO. \_\_\_\_\_

